Little, Shelby

From: Courtney Morrison <cmorrison@madearch.design>
Sent: Friday, January 23, 2026 1:41 PM
To: Little, Shelby
Cc: Karls Mundaray; Roy Fleeman; Kate Petri
Subject: RE: 245 Forest Ave - Stop Work
Attachments: We sent you safe versions of your files; Fleeman Remodel 245 Forest.tiff

Mimecast Attachment Protection has deemed this file to be safe, but always exercise caution when opening files.

Good afternoon, Shelby. Thank you for taking my call this morning. As discussed, below is a recap of how we got to where we are today.

In October of 2025 we submitted for and were approved by the Historic Planning Commission for a major remodel/addition to the existing house at 245 Forest Ave. The packet that was submitted and approved is attached here for your reference.

About a month after receiving HPC approval we submitted for permit and were approved without comments.

Between the HPC approval and permit submission, we continued to advance the drawings for construction and coordinate between myself, our structural engineer and our contractor. During this time it was determined that the existing foundations would not be adequate to support the addition of the proposed second story. So, we updated the drawings to facilitate the rebuilding of the foundations. That is what is reflected in the approved permit drawings.

During the HPC meetings the demolition scope was never mentioned or discussed. So, we updated it for the permit drawings understanding it would be reviewed and would either be approved or disapproved. The permit drawings were approved and we started construction. We were certainly not trying to deceive anyone or "pull a fast one" and get away with something. This is evident in the fact that there has not been any change to the front elevation design that was discussed, presented and approved at the HPC.

If you have any questions, or need additional information please let me know.

Thank you for you attention to this matter. We are hopeful for a quick resolution.

COURTNEY MORRISON, NCARB
FOUNDING ARCHITECT

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YouTube @madearchitecture
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MADE
ARCHITECTURE & DESIGN

1/21/26

1/21/26

MARIETTA HISTORIC PRESERVATION COMMISSION

205 Lawrence Street
Phone: 770.794.5669

Marietta, GA 30060
Fax: 770.794.5655

November 17, 2025
Courtney Morrison
MADE Architecture & Design
By Email: cmorrison@madearch.design

Re: 245 Forest Avenue NE- Limited Demolition, Partial New Construction, Additions, Material Change in Appearance

At the November 3, 2025, meeting of the Historic Preservation Commission (HPC), your certificate of appropriateness application for limited demolition, partial new construction, additions and material change in appearance was **APPROVED** as submitted. The certificate of appropriateness requested the following:

- Limited demolition and partial new construction at the existing single-family residence located at 245 Forest Avenue NE as described in the application and the architectural drawings included with the submission.

A motion to approve was made by commission member Steve Imler, second by commission member Chris Campbell and carried out by a vote of 6-0-0 (Forest Avenue Historic District members were absent).

Contact Permits and Inspections (770) 794-5454/5177 for information regarding the online permitting process if needed.

Please give Development Services a call if you have any questions.

Sincerely,

Sandra Lloyd
Administrative Assistant
Secretary to the Historic Board of Review
Department of Development Services
City of Marietta, GA
Cc By email: royfleeman@gmail.com; katepetri@gmail.com; bigdbrowne@yahoo.com; jhoover423@gmail.com

CoA2025-08
20250909

CITY OF Marietta
HISTORIC PRESERVATION COMMISSION

RECEIVED

Application for a Certificate of Appropriateness (COA)

Applicant:	Courtney Morrison	**Phone Number:**	404.735.2132
Email Address:	cmorrison@madearch.design		
Subject Property:	245 Forest Ave NE	**Parcel ID:**	16116000850
Property Owner:	Roy and Kate Fleeman	**Phone Number:**	Roy: 770.274.9559 Kate: 404.610.9400

Type of Project Proposed:

- ☐ Demolition
- ☐ New Construction/Infill
- ☒ Additions
- ☒ Material Change in Appearance

Description of Proposed Project (attach additional sheets if necessary):

This project proposes limited demolition and partial new construction at the existing single-family residence located at 245 Forest Ave NE - per the included architectural drawings. The resulting addition would add increased living space on the ground floor and 3 new bedrooms and common space on the expanded second floor. The materials of the new home are proposed to be a combination of shake siding and lapped siding (6" and 4" exposure) and trim. This is similar to what is present on the existing house and surrounding homes in the Forest Hills Historic District. Care will be taken to ensure the fenestration is similar to what exists on the house today to create a cohesive visual in the neighborhood.

I hereby affirm that the information supplied on this application is correct and if found to be incorrect that any permit issued pursuant to this application may be void.

Signature: _____ **Date:** September 18, 2025

***Applicant/Owner/or Representative Must Be Present at the Historic Preservation Commission Meeting**

To be completed by STAFF ONLY

HPC Hearing Date: 11/3/25 City Council Hearing Date: _____

APPROVAL **DENIAL**

Conditions:

Chairman's Signature Date

CoA2025-08
20250909

FLEEMAN RESIDENCE

RECEIVED 10/20/25

245 FOREST AVE. REMODEL

OCTOBER 19, 2025

CURRENT

PROPOSED

RECEIVED 10/20/25

245 FOREST AVE. REMODEL

OCTOBER 19, 2025

CoA2025-08
20250909

FRONT ELEVATION

RECEIVED 10/20/25

245 FOREST AVE. REMODEL

OCTOBER 19, 2025

RECEIVED 10/20/25

245 FOREST AVE. REMODEL

OCTOBER 19, 2025

CoA2025-08
20250909

WEST (LEFT)

EAST (RIGHT)

RECEIVED 10/20/25

245 FOREST AVE. REMODEL

OCTOBER 19, 2025

THANK YOU

RECEIVED 10/20/25

Permit Number:

BLDG-2025-033828

Project Number:

BLDG2511065886

Permit Date:

12/10/2025

MUST BE POSTED ON JOB SITE

BUILDING PERMIT

Main #: 770-794-5659

Address:	245 FOREST AVE, MARIETTA, GA 30060	**Subdivision :**	
Lot # :		**Suite # :**	
Contractor :	Karls Mundaray	**Contractor Contact # :**	(470) 357-5865

Inspection #	Type	Scheduled Date	Status	Status Date
INSP2025 11184697	Zoning, Final		Required	11/20/2025
INSP2025 11184794	Building, Final		Required	11/21/2025
INSP2025 11184795	Building, Footing		Required	11/21/2025
INSP2025 11184796	Building, Foundation Wall		Required	11/21/2025
INSP2025 11184797	Building, Framing		Required	11/21/2025
INSP2025 11184798	Building, Insulation		Required	11/21/2025
INSP2025 11184799	Building, Sheathing		Required	11/21/2025

This Project is for the remodel and addition to the existing residence. Include selective demolition and new construction per architectural and structural plans.

"The issuance of this permit authorizes improvements of the real property designated herein which improvements may subject such property to mechanics' and materialmen's liens pursuant to Part 3 of Article 8 of Chapter 14 of Title 44 of the Official Code of Georgia Annotated. In order to protect any interest in such property and to avoid encumbrances thereon, the owner or any person with an interest in such property should consider contacting an attorney or purchasing a consumer's guide to the lien laws which may be available at building supply home centers." Reference: O.C.G.A. 8-2-26(e)(2)

Comments

All Erosion & Sediment Control measures must be in place at all times during construction.
At anytime the proper Erosion & Sediment Control is not in place a Stop Work Order will be issued.

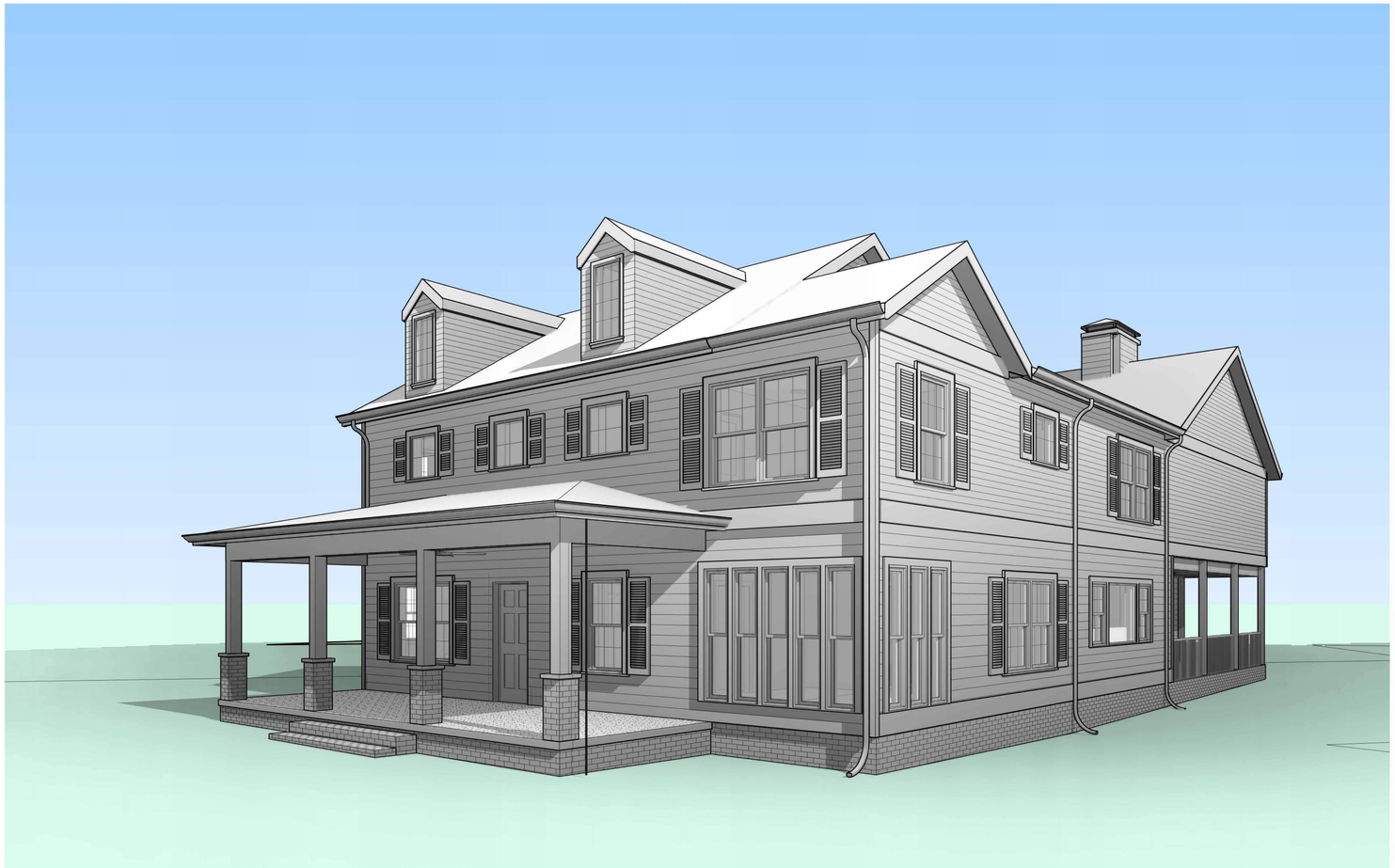
BLDG2511065886

GENERAL NOTES:

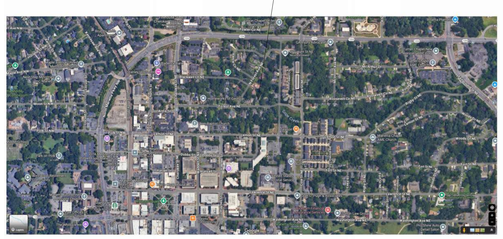
1. DO NOT SCALE DRAWINGS.
2. VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY FROM THE CONTRACT DOCUMENTS.
3. THE CONTRACT DOCUMENTS ARE COMPLIMENTARY AND WHAT IS REQUIRED BY ONE SHALL BE BINDING AS IF REQUIRED BY ALL. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS. NOTIFY ARCHITECT FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.
4. ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND CONSULTANT DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
5. PROVIDE SUBMITTALS FOR ALL EQUIPMENT, FIXTURES, MILLWORK, AND FINISHES. NO SUBSTITUTION WILL BE ACCEPTABLE WITHOUT SPECIFIC PRIOR APPROVAL OF THE ARCHITECT AND OWNER.
6. ALL QUANTITIES SHALL BE VERIFIED PRIOR TO ORDERING.
7. CONTRACTOR SHALL VERIFY COMPATIBILITY OF ALL ARCHITECTURAL CONDITIONS W/ APPLIANCES, EQUIPMENT, FIXTURES, HARDWARE, AND MOUNTING ACCESSORIES.
8. ANY PORTIONS OF THE EXISTING CONDITION INTENDED FOR RE-USE (INCLUDING BUT NOT LIMITED TO EQUIPMENT, FIXTURES, HARDWARE, FINISHES, ETC) SHALL BE THOROUGHLY INSPECTED, CLEANED, SERVICED, REPAIRED AS NEEDED, UPGRADED TO COMPLY WITH CURRENT CODES, AND BROUGHT TO LIKE-NEW CONDITION BY CONTRACTOR. ALL EXISTING LIGHT FIXTURES SHALL BE RE-LAMPED BY CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING FULL SCOPE OF THIS WORK DURING THE BID PHASE, NOTIFYING ARCHITECT OF ANY WORK NOT DESCRIBED IN THE CONTRACT DOCUMENTS, AND INCLUDING THIS COST IN INITIAL CONTRACT SUM.
9. GC TO VERIFY FEASIBILITY OF AND COORDINATE DELIVERY FOR ALL OWNER-PROVIDED ITEMS, INCLUDING LOADING ZONE ACCESS AND WIDTH OF ALL HALLWAYS, DOORS, ELEVATORS, ETC. ALONG ROUTE OF DELIVERY. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING FULL SCOPE OF THIS WORK DURING THE BID PHASE, NOTIFYING ARCHITECT OF ANY ISSUES, AND INCLUDING THIS COST IN INITIAL CONTRACT SUM.
10. ALL ENVELOPE AND MECHANICAL CERTIFICATE OF ACCEPTANCE FORMS, AND ALL RELATED ACCEPTANCE DOCUMENTS SHALL BE PROVIDED AND SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AS REQUIRED.
11. CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS AND CONFIRM THOSE WITH MEASUREMENTS TAKEN IN THE FIELD. ANY DISCREPANCIES IN THE DRAWINGS SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION IN WRITING
12. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR THE SELECTION OF ALL APPLIANCES AND RELATED ACCESSORIES. ALL COLORS, FINISHES, AND OPTIONS TO BE CONFIRMED BY OWNER.
13. THE CONTRACTOR SHALL CONFIRM WITH THE OWNER THE SELECTION OF ALL INTERIOR FINISHES INCLUDING FLOOR COVERINGS AND UNDERLAYMENTS, PAINT, AND OTHER WALL COVERINGS, BASE, LAMINATES, TILE, ETC.
14. THE CONTRACTOR SHALL CONFIRM WITH THE OWNER THE DESIGN, MATERIALS, FINISHES, AND HARDWARE OF ALL BUILT-IN MILLWORK AND CABINETRY AND SHALL SUBMIT SHOP DRAWINGS FOR LANDLORD AND ARCHITECT APPROVAL PRIOR TO FABRICATION.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF OF THE HVAC AND DISTRIBUTION SYSTEM AS REQUIRED. ALL SYSTEMS SHALL BE INSTALLED IN COMPLIANCE WITH GOVERNING CODES AND REGULATIONS.
16. ADDITIONS AND ALTERATIONS MUST COMPLY WITH CURRENT CODE REQUIREMENTS FOR THE LOCATION OF SMOKE ALARMS AND CARBON MONOXIDE ALARMS (IRC314.3 AND 315.3) THROUGHOUT THE ENTIRE HOUSE.

FLEEMAN RESIDENCE REMODEL AND ADDITION

245 FOREST AVENUE NE, MARIETTA, GA 30060



245 FOREST AVE. NE
MARIETTA, GA 30060



PROJECT DESCRIPTION:
DESCRIPTION: THIS PROJECT IS FOR THE REMODEL AND ADDITION TO THE EXISTING RESIDENCE LOCATED AT THE ADDRESS **245 FOREST AVENUE NE, MARIETTA, GA 30060.** THE BUILD-OUT WILL INCLUDE SELECTIVE DEMOLITION AND LIMITED NEW CONSTRUCTION PER THIS SET OF DRAWINGS.

REFER TO STRUCTURAL DRAWINGS FOR COMPLETE SCOPE.

AREA:

EXISTING:		**NEW CONDITIONED SPACE:**	
EXISTING MAIN FLOOR:	2,566 SF	NEW MAIN FLOOR:	588 SF
EXISTING UPPER FLOOR:	680 SF	NEW UPPER FLOOR:	1,430 SF
EXISTING SF TOTAL:	3,246 SF	NEW SF TOTAL:	2,018 SF

TOTAL SF (EXISTING + NEW): 5,264 SF

ZONING:
R4 - FOREST HILLS HISTORIC DISTRICT

APPLICABLE CODES:
ALL WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES AND ORDINANCES

RESIDENTIAL: INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION, WITH GEORGIA AMMENDMENTS (2020, 2024)
FIRE: INTERNATIONAL FIRE CODE, 2018 EDITION
PLUMBING: INTERNATIONAL PLUMBING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020, 2022, 2023, 2024)
MECHANICAL: INTERNATIONAL MECHANICAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020, 2024)
FUEL GAS: INTERNATIONAL FUEL GAS CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020, 2022)
ELECTRICAL: NATIONAL ELECTRICAL CODE, 2023 EDITION
ENERGY: INTERNATIONAL ENERGY CONSERVATION CODE, 2015 EDITION, WITH GEORGIA SUPPLEMENTS AND AMENDMENTS (2020, 2022, 2023)
ACCESSIBILITY: GEORGIA ACCESSIBILITY CODE 120-3-20
LIFE SAFETY: 2024 NFPA 101 LIFE SAFETY CODE

NOTHING IN THESE DRAWINGS SHALL BE TAKEN AS PERMITTING OR PROPOSING WORK NOT CONFORMING TO THESE CODES AND REGULATIONS

Sheet List

Sheet Number	Sheet Name
ARCHITECTURAL	
A000	COVERSHEET
A001	SCHEDULES
A100	SITE PLAN
A101	EXISTING & DEMO MAIN LEVEL PLAN
A102	EXISTING & DEMO UPPER LEVEL PLAN
A103	NEW LOWER LEVEL PLAN
A104	NEW UPPER LEVEL PLAN
A105	ROOF PLAN
A201	NEW LOWER LEVEL R.C.P.
A202	NEW UPPER LEVEL R.C.P.
A401	ELEVATIONS
A402	ELEVATIONS
A403	ELEVATIONS & DETAILS
A404	ELEVATIONS
STRUCTURAL	
S001	GENERAL NOTES
S002	GENERAL NOTES
S003	GENERAL NOTES
S004	GENERAL NOTES
S101	FOUNDATION PLAN
S201	FIRST FLOOR FRAMING PLAN
S202	FIRST LEVEL WALL FRAMING PLAN
S203	SECOND FLOOR FRAMING PLAN
S204	SECOND LEVEL WALL FRAMING PLAN
S301	ROOF FRAMING PLAN
S401	BRACING WALL SCHEDULES & DETAILS
S402	WALL FRAMING SCHEDULES & DETAILS
S403	WALL FRAMING & BEAM PENETRATIONS
S601	FOUNDATION SECTIONS & DETAILS
S701	FLOOR FRAMING SECTIONS & DETAILS
S801	ROOF FRAMING SECTIONS & DETAILS

MADE
ARCHITECTURE & DESIGN

www.madearchitecture.design

PROJECT: Fleeman Residence Remodel & Addition
245 Forest Avenue NE
Marietta, GA 30060

ARCHITECT: Made Architecture, LLC
Courtney Morrison, NCARB
453 Maple Avenue, NW
Marietta, GA 30064
404.735.2132
cmorrison@madearch.design

OWNERS: Roy and Kate Fleeman
270 Hunt Street NE
Marietta, GA 30060
Roy: 770.274.9559
royfleeman@gmail.com
Kate: katepetri@gmail.com

STRUCTURAL ENGINEER: Fernz Engineering
Michael Fernandez
488 Thomas Road
Cleveland, GA 30528
706.969.5636
mike@fernz-structural.com

STATE OF GEORGIA
COURTNEY BRYANT MORRISON
CERTIFICATE NO. 0401,0401
REGISTERED ARCHITECT

November 14, 2025

Issuances

No.	Description	Date
	Schematic Design	8/29/2025
	Design Development	9/16/2025
	Historic Board Review	9/18/2025
	Issued for Permit	11/14/2025

COVERSHEET

Project number	20250505
Date	November 14,2025
Drawn by	CM
Checked by	CM

A000

Scale

11/14/2025 8:46:16 AM

BLDG2511065886

Door Schedule

Door Number	Room	Description	Door: Width	Door: Height	Door Material	Door Finish	Hardware Function	Fame: Material	Fame: Finish	Comments
First Floor										
C-01	FOYER	CASED OPENING	5' - 0"	6' - 8"	N/A	N/A	N/A	WOOD	PAINT	
C-02	OWNER'S HALL	CASED OPENING	3' - 0"	6' - 8"	N/A	N/A	N/A	WOOD	PAINT	
C-03	LIVING ROOM	CASED OPENING	8' - 0"	6' - 8"	N/A	N/A	N/A	WOOD	PAINT	
C-04	DEN	CASED OPENING	10' - 0"	6' - 8"	N/A	N/A	N/A	WOOD	PAINT	
D101	FOYER	EXTERIOR SINGLE DOOR	3' - 0"	6' - 8"	SOLID WOOD	PAINTED	DEADBOLT	WOOD	PAINT	
D102	PANTRY	INTERIOR WOOD POCKET DOOR	2' - 6"	6' - 8"	SOLID WOOD	PAINTED	PASSAGE	WOOD	PAINT	
D103	DEN	EXTERIOR SLIDING DOOR	9' - 0"	6' - 8"	MATCH WINDOWS	N/A	SLIDING LOCKING	METAL	N/A	
D104	POWDER	INTERIOR SINGLE DOOR	2' - 6"	6' - 8"	SOLID WOOD	PAINTED	PRIVACY	WOOD	PAINT	
D105	LAUNDRY	INTERIOR WOOD POCKET DOOR	3' - 0"	6' - 8"	SOLID WOOD	PAINTED	PASSAGE	WOOD	PAINT	
D106	UNDER STAIRS STOR.	INTERIOR SINGLE DOOR	3' - 0"	6' - 8"	SOLID WOOD	PAINTED	PASSAGE	WOOD	PAINT	
D107	MECHANICAL	INTERIOR WOOD POCKET DOOR	3' - 0"	6' - 8"	SOLID WOOD	PAINTED	PASSAGE	WOOD	PAINT	
D108	OWNER'S CLOSET	INTERIOR WOOD POCKET DOOR	2' - 6"	6' - 8"	SOLID WOOD	PAINTED	PASSAGE	WOOD	PAINT	
D109	OWNER'S BATH	FRAMELESS GLASS DOOR	3' - 0"	8' - 0"	LAMINATED GLASS	N/A	PRIVACY	N/A	N/A	
D110	OWNER'S BED	INTERIOR WOOD POCKET DOOR	2' - 6"	6' - 8"	SOLID WOOD	PAINTED	PRIVACY	WOOD	PAINT	
D111	OWNER'S BED	INTERIOR SINGLE DOOR	3' - 0"	6' - 8"	SOLID WOOD	PAINTED	PRIVACY	WOOD	PAINT	
Second Floor										
D201	CLOSET 2	INTERIOR WOOD POCKET DOOR	2' - 6"	6' - 8"	SOLID WOOD	PAINTED	PASSAGE	WOOD	PAINT	
D202	BED 2	INTERIOR SINGLE DOOR	2' - 6"	6' - 8"	SOLID WOOD	PAINTED	PRIVACY	WOOD	PAINT	
D203	J&J BATH	INTERIOR WOOD POCKET DOOR	2' - 6"	6' - 8"	SOLID WOOD	PAINTED	PRIVACY	WOOD	PAINT	
D204	BED 1	INTERIOR SINGLE DOOR	2' - 6"	6' - 8"	SOLID WOOD	PAINTED	PRIVACY	WOOD	PAINT	
D205	J&J BATH	INTERIOR WOOD POCKET DOOR	2' - 6"	6' - 8"	SOLID WOOD	PAINTED	PRIVACY	WOOD	PAINT	
D206	CLOSET 1	INTERIOR WOOD POCKET DOOR	2' - 6"	6' - 8"	SOLID WOOD	PAINTED	PASSAGE	WOOD	PAINT	
D207	UPPER LAUNDRY	INTERIOR SINGLE DOOR	3' - 0"	6' - 8"	SOLID WOOD	PAINTED	PASSAGE	WOOD	PAINT	
D208	EXISTING BED 2	INTERIOR SINGLE DOOR	2' - 6"	6' - 8"	SOLID WOOD	PAINTED	PRIVACY	WOOD	PAINT	
D209	EXISTING BED 1	INTERIOR SINGLE DOOR	2' - 6"	6' - 8"	SOLID WOOD	PAINTED	PRIVACY	WOOD	PAINT	
D210	BATH	INTERIOR SINGLE DOOR	2' - 6"	6' - 8"	SOLID WOOD	PAINTED	PRIVACY	WOOD	PAINT	
D211	W.C.	INTERIOR WOOD POCKET DOOR	2' - 6"	6' - 8"	SOLID WOOD	PAINTED	PRIVACY	WOOD	PAINT	
D212	CLOSET	INTERIOR DOUBLE DOOR	6' - 0"	6' - 8"	SOLID WOOD	PAINTED	PASSAGE	WOOD	PAINT	
D213	MECHANICAL	INTERIOR SINGLE DOOR	3' - 0"	6' - 8"	SOLID WOOD	PAINTED	PASSAGE	WOOD	PAINT	
D214	GUEST BED	INTERIOR SINGLE DOOR	2' - 6"	6' - 8"	SOLID WOOD	PAINTED	PRIVACY	WOOD	PAINT	
D215	GUEST BATH	INTERIOR WOOD POCKET DOOR	2' - 6"	6' - 8"	SOLID WOOD	PAINTED	PRIVACY	WOOD	PAINT	
D216	GUEST CLOSET	INTERIOR WOOD POCKET DOOR	2' - 6"	6' - 8"	SOLID WOOD	PAINTED	PASSAGE	METAL	PAINT	

DOOR NOTES:
1. NEW INTERIOR DOORS STYLE, FINISH AND MATERIAL TO BE COORDINATED W/ OWNER. REFER TO DOCS APPROVED BY HISTORIC BOARD STYLE. COORDINATE NEW COLOR/MATERIAL WITH HISTORIC BOARD
2. NEW DOOR HARDWARE ON ALL DOORS. COORDINATE WITH OWNER FOR FINISH AND STYLE.
3. ALL NEW DOOR HEIGHTS TO MATCH EXISTING DOOR OPENING HEIGHTS. VERIFY IN FIELD.

Window Schedule

Mark	Type Mark	Description	Rough Opening: Width	Rough Opening: Height	Sill Height	Comments
01	W1	SINGLE HUNG - SINGLE	2' - 8"	4' - 10"	2' - 0"	SHUTTERS AT EACH SIDE. (WIDTH: HALF LITE OF WINDOW; HEIGHT: FULL LITE OF WINDOW)
02	W2	SINGLE HUNG - SINGLE	1' - 6"	6' - 2"	1' - 0"	
03	W2	SINGLE HUNG - SINGLE	1' - 6"	6' - 2"	1' - 0"	
04	W2	SINGLE HUNG - SINGLE	1' - 6"	6' - 2"	1' - 0"	
05	W2	SINGLE HUNG - SINGLE	1' - 6"	6' - 2"	1' - 0"	
06	W2	SINGLE HUNG - SINGLE	1' - 6"	6' - 2"	1' - 0"	
07	W2	SINGLE HUNG - SINGLE	1' - 6"	6' - 2"	1' - 0"	
08	W2	SINGLE HUNG - SINGLE	1' - 6"	6' - 2"	1' - 0"	
09	W2	SINGLE HUNG - SINGLE	1' - 6"	6' - 2"	1' - 0"	
10	W3	SINGLE HUNG - DOUBLE	5' - 10"	4' - 10"	2' - 0"	SHUTTERS AT EACH SIDE. (WIDTH: HALF LITE OF WINDOW; HEIGHT: FULL LITE OF WINDOW)
11	W4	SINGLE HUNG - SINGLE	2' - 4"	3' - 10"	3' - 0"	
12	W9	FIXED	5' - 0"	3' - 10"	3' - 0"	
13	W4	SINGLE HUNG - SINGLE	2' - 4"	3' - 10"	3' - 0"	
15	W5	FIXED	2' - 8"	2' - 8"	4' - 2"	INCLUDE PRIVACY FILM. SHUTTERS AT EACH SIDE. (WIDTH: HALF LITE OF WINDOW; HEIGHT: FULL LITE OF WINDOW)
16	W4	SINGLE HUNG - SINGLE	2' - 4"	3' - 10"	3' - 0"	SHUTTERS AT EACH SIDE. (WIDTH: HALF LITE OF WINDOW; HEIGHT: FULL LITE OF WINDOW)
17	W4	SINGLE HUNG - SINGLE	2' - 4"	3' - 10"	3' - 0"	SHUTTERS AT EACH SIDE. (WIDTH: HALF LITE OF WINDOW; HEIGHT: FULL LITE OF WINDOW)
18	W3	SINGLE HUNG - DOUBLE	5' - 10"	4' - 10"	2' - 0"	SHUTTERS AT EACH SIDE. (WIDTH: HALF LITE OF WINDOW; HEIGHT: FULL LITE OF WINDOW)
20	W5	FIXED	2' - 8"	2' - 8"	4' - 2"	SHUTTERS AT EACH SIDE. (WIDTH: HALF LITE OF WINDOW; HEIGHT: FULL LITE OF WINDOW)
21	W3	SINGLE HUNG - DOUBLE	5' - 10"	4' - 10"	2' - 0"	SHUTTERS AT EACH SIDE. (WIDTH: HALF LITE OF WINDOW; HEIGHT: FULL LITE OF WINDOW)
22	W1	SINGLE HUNG - SINGLE	2' - 8"	4' - 10"	2' - 0"	SHUTTERS AT EACH SIDE. (WIDTH: HALF LITE OF WINDOW; HEIGHT: FULL LITE OF WINDOW)
23	W5	FIXED	2' - 8"	2' - 8"	4' - 2"	SHUTTERS AT EACH SIDE. (WIDTH: HALF LITE OF WINDOW; HEIGHT: FULL LITE OF WINDOW)
24	W3	SINGLE HUNG - DOUBLE	5' - 10"	4' - 10"	2' - 0"	SHUTTERS AT EACH SIDE. (WIDTH: HALF LITE OF WINDOW; HEIGHT: FULL LITE OF WINDOW)
25	W6	SINGLE HUNG - SINGLE	2' - 0"	3' - 6"	3' - 4"	SHUTTERS AT EACH SIDE. (WIDTH: HALF LITE OF WINDOW; HEIGHT: FULL LITE OF WINDOW)
26	W5	FIXED	2' - 8"	2' - 8"	4' - 2"	SHUTTERS AT EACH SIDE. (WIDTH: HALF LITE OF WINDOW; HEIGHT: FULL LITE OF WINDOW)
27	W5	FIXED	2' - 8"	2' - 8"	4' - 2"	SHUTTERS AT EACH SIDE. (WIDTH: HALF LITE OF WINDOW; HEIGHT: FULL LITE OF WINDOW)
28	W1	SINGLE HUNG - SINGLE	2' - 8"	4' - 10"	2' - 0"	SHUTTERS AT EACH SIDE. (WIDTH: HALF LITE OF WINDOW; HEIGHT: FULL LITE OF WINDOW)
29	W5	FIXED	2' - 8"	2' - 8"	4' - 2"	SHUTTERS AT EACH SIDE. (WIDTH: HALF LITE OF WINDOW; HEIGHT: FULL LITE OF WINDOW)
30	W5	FIXED	2' - 8"	2' - 8"	4' - 2"	SHUTTERS AT EACH SIDE. (WIDTH: HALF LITE OF WINDOW; HEIGHT: FULL LITE OF WINDOW)
35	W7	SKYLIGHT	1' - 10 1/2"	3' - 0"		COORDINATE WITH ROOF FRAMING
36	W7	SKYLIGHT	1' - 10 1/2"	3' - 0"		COORDINATE WITH ROOF FRAMING
37	W7	SKYLIGHT	1' - 10 1/2"	3' - 0"		COORDINATE WITH ROOF FRAMING
38	W7	SKYLIGHT	1' - 10 1/2"	3' - 0"		COORDINATE WITH ROOF FRAMING
39	W8	FIXED	2' - 0"	4' - 0"	1' - 0"	
40	W8	FIXED	2' - 0"	4' - 0"	1' - 0"	
41	W8	FIXED	2' - 0"	4' - 0"	1' - 0"	

WINDOW NOTES:
1. FINISH AND STYLE - COORDINATE WITH OWNER AND REFER TO DOCS APPROVED BY HISTORIC BOARD STYLE. COORDINATE NEW COLOR/MATERIAL WITH HISTORIC BOARD.
2. NEW WINDOW TRIM TO MATCH EXISTING WINDOW TRIM
3. EXISTING OPENING DIMENSIONS TO BE V.I.F.
4. ALL WINDOWS MUST MEET MININUM EGRESS REQUIREMENTS.

Lighting Fixture Schedule

Type Mark	Description	Mounting Height	Comments
L1	RECESSED DOWNLIGHT	N/A	
L2	CEILING FAN WITH INTEGRATED LIGHT KIT	N/A	
L3	RESTROOM SCONCE	N/A	
L4	INTEGRATED RECESSED LIGHT & FAN COMBO	N/A	
L5	LINEAR LIGHT 1'X4'	N/A	
L6	WALL MOUNTED LIGHT	VIF	COORDINATE MOUNTING HEIGHT WITH OWNER.
L8	PENDANT LINEAR LIGHT 8'	VIF	COORDINATE MOUNTING HEIGHT WITH OWNER.
L9	DECORATIVE PENDANT LIGHT	VIF	COORDINATE MOUNTING HEIGHT WITH OWNER.

Room Finish Schedule

Room Name	Floor	Base	Wall	Ceiling	Ceiling Height	Comments
First Floor						
FOYER	TILE/STONE	WOOD	PAINT	PAINT	EXISTING V.I.F.	
LIVING ROOM	WOOD	WOOD	PAINT	PAINT	EXISTING V.I.F.	
KITCHEN	TBD	WOOD	PAINT	PAINT	EXISTING V.I.F.	
DINING	WOOD	WOOD	PAINT	PAINT	EXISTING V.I.F.	
PANTRY	WOOD	WOOD	PAINT	PAINT	EXISTING V.I.F.	
DEN	WOOD	WOOD	PAINT	PAINT	EXISTING V.I.F.	
MUD/HALL	WOOD	WOOD	PAINT	PAINT	EXISTING V.I.F.	
EXISTING GARAGE	EXISTING	EXISTING	EXISTING	PAINT	EXISTING V.I.F.	
POWDER	TILE/STONE	WOOD	PAINT/TILE	PAINT	EXISTING V.I.F.	
LAUNDRY	WOOD	WOOD	PAINT	PAINT	EXISTING V.I.F.	
MECHANICAL	WOOD	WOOD	PAINT	PAINT	EXISTING V.I.F.	
UNDER STAIRS STOR.	EXISTING	EXISTING	PAINT	PAINT	EXISTING V.I.F.	
OWNER'S CLOSET	WOOD	WOOD	PAINT	PAINT	EXISTING V.I.F.	
OWNER'S BATH	TILE/STONE	WOOD	PAINT/TILE	PAINT	EXISTING V.I.F.	
OWNER'S BED	WOOD	WOOD	PAINT	PAINT	EXISTING V.I.F.	
OWNER'S HALL	WOOD	WOOD	PAINT	PAINT	EXISTING V.I.F.	
Second Floor						
CLOSET 2	WOOD	WOOD	PAINT	PAINT	EXISTING V.I.F.	
BED 2	WOOD	WOOD	PAINT	PAINT	EXISTING V.I.F.	
J&J BATH	TILE/STONE	WOOD	PAINT/TILE	PAINT	EXISTING V.I.F.	
BED 1	WOOD	WOOD	PAINT	PAINT	EXISTING V.I.F.	
CLOSET 1	WOOD	WOOD	PAINT	PAINT	EXISTING V.I.F.	
ATTIC	WOOD	WOOD	PAINT	PAINT	EXISTING V.I.F.	
UPPER LAUNDRY	WOOD	WOOD	PAINT	PAINT	EXISTING V.I.F.	
EXISTING BED 2	EXISTING	EXISTING	EXISTING	PAINT	EXISTING V.I.F.	
EXISTING CLOSET 2	EXISTING	EXISTING	EXISTING	PAINT	EXISTING V.I.F.	
EXISTING BED 1	EXISTING	EXISTING	EXISTING	PAINT	EXISTING V.I.F.	
EXISTING CLOSET 1	EXISTING	EXISTING	EXISTING	PAINT	EXISTING V.I.F.	
BATH	TILE/STONE	WOOD	PAINT/TILE	PAINT	EXISTING V.I.F.	
W.C.	TILE/STONE	WOOD	PAINT/TILE	PAINT	EXISTING V.I.F.	
CLOSET	WOOD	WOOD	PAINT	PAINT	EXISTING V.I.F.	
STAIR LANDING	WOOD	WOOD	PAINT	PAINT	EXISTING V.I.F.	
MECHANICAL	WOOD	WOOD	PAINT	PAINT	EXISTING V.I.F.	
HALL	WOOD	WOOD	PAINT	PAINT	EXISTING V.I.F.	
COMMON AREA	WOOD	WOOD	PAINT	PAINT	EXISTING V.I.F.	
GUEST BATH	TILE/STONE	WOOD	PAINT/TILE	PAINT	EXISTING V.I.F.	
GUEST BED	WOOD	WOOD	PAINT	PAINT	EXISTING V.I.F.	
GUEST CLOSET	WOOD	WOOD	PAINT	PAINT	EXISTING V.I.F.	

FINISH NOTES:
1. FINIISH SELECTIONS BY OWNER.
2. ALL GYP CEILINGS TO BE TIGHT TO EXISTING WOOD STRUCTURE.

MADE
ARCHITECTURE & DESIGN

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PROJECT: Fleeman Residence Remodel & Addition
245 Forest Avenue NE
Marietta, GA 30060

ARCHITECT: Made Architecture, LLC
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Kate: katepetri@gmail.com

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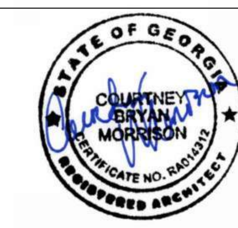

November 14, 2025

Issuances

No.	Description	Date
	Issued for Permit	11/14/2025

SCHEDULES

Project number	20250505
Date	November 14,2025
Drawn by	Author
Checked by	Checker

A001

Scale

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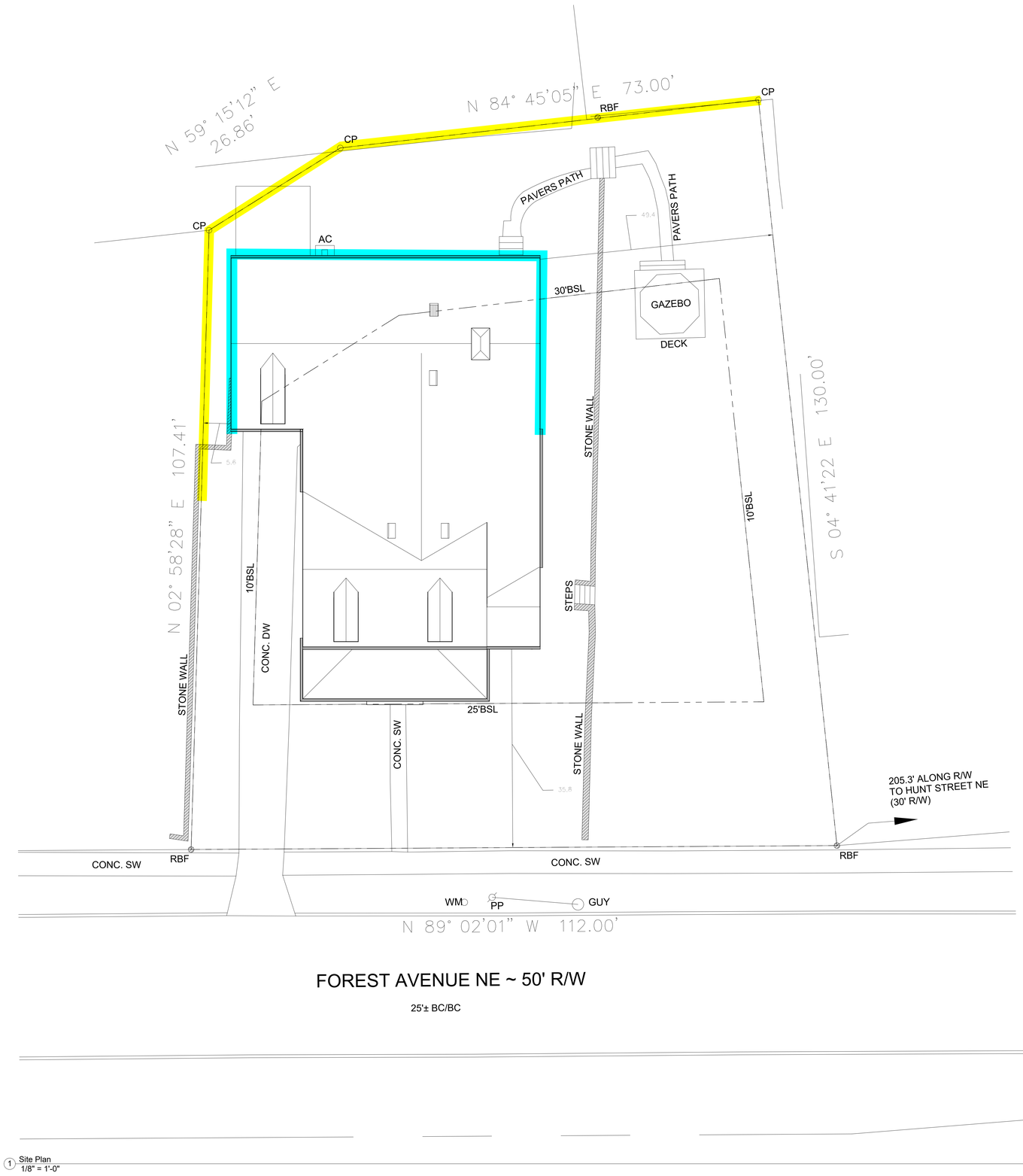

1 Site Plan
1/8" = 1'-0"

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245 Forest Avenue NE
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STATE OF GEORGIA
COURTNEY BRYANT MORRISON
CERTIFICATE NO. 0001217
REGISTERED ARCHITECT

November 14, 2025

Issuances

No.	Description	Date
	Schematic Design	8/29/2025
	Design Development	9/16/2025
	Historic Board Review	9/18/2025
	Issued for Permit	11/14/2025

SITE PLAN

Project number	20250505
Date	November 14,2025
Drawn by	CM
Checked by	CM

A100

Scale 1/8" = 1'-0"

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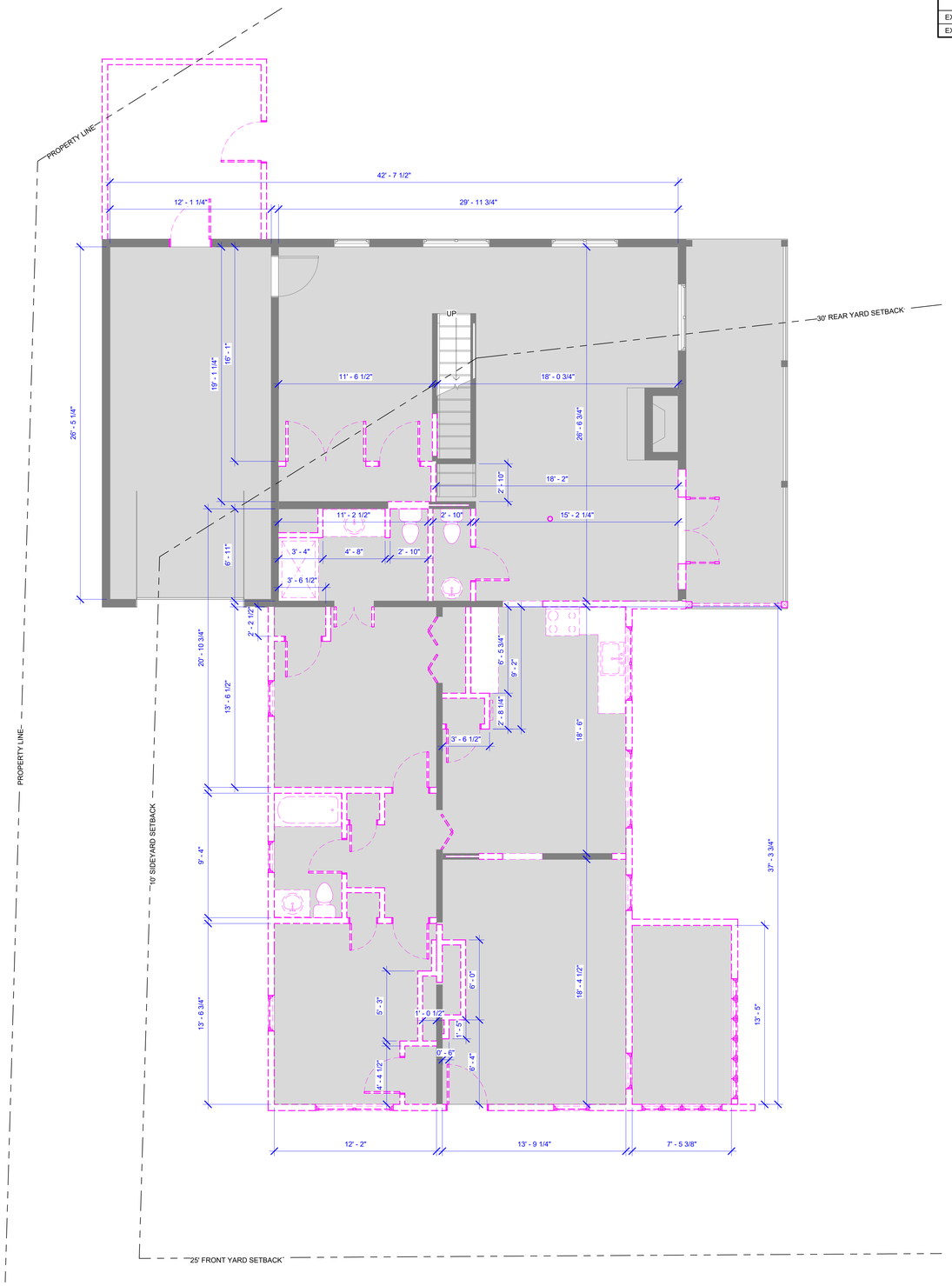
DEMOLITION PLAN NOTES:

1. DO NOT SCALE THESE DRAWINGS
2. ALL DIMENSIONS TO BE VERIFIED IN THE FIELD
3. ALL DIMENSIONS SHOWN ARE FROM **FACE OF FINISH TO FACE OF FINISH** UNLESS NOTED OTHERWISE
4. DEMOLITION IS LIMITED TO THE SCOPE SHOWN IN THESE DRAWINGS. IF ADDITIONAL DEMOLITION IS NEEDED, GC TO VERIFY WITH ARCHITECT AND/OR HOMEOWNER.
5. ALL EXTERIOR FINISHES TO BE REMOVED, AIR/WEATHER BARRIER AND SHEATHING TO REMAIN UNLESS NOTED OTHERWISE.
6. ALL EXISTING ELECTRICAL FIXTURES AND WIRING TO BE REMOVED AND DISPOSED OF.
7. ALL EXISTING WINDOWS TO BE REMOVED AND DISPOSED OF.
8. ALL HARDWOOD FLOORING TO REMAIN. ALL LAMINATE AND TILE FLOORING TO BE REMOVED AND DISPOSED OF.
9. ALL HVAC SYSTEMS AND DUCT WORK TO BE REMOVED AND DISPOSED OF.

DEMOLITION LEGEND

EXISTING TO BE REMOVED:	
EXISTING TO REMAIN:	



1 First Floor Existing + Demo
1/4" = 1'-0"

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PROJECT: Fleeman Residence Remodel & Addition
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STATE OF GEORGIA
COURTNEY MORRISON
CERTIFICATE NO. 040317
REGISTERED ARCHITECT

November 14, 2025

Issuances

No.	Description	Date
	Schematic Design	8/29/2025
	Design Development	9/16/2025
	Historic Board Review	9/18/2025
	Issued for Permit	11/14/2025

EXISTING & DEMO MAIN LEVEL PLAN

Project number	20250505
Date	November 14,2025
Drawn by	CM
Checked by	CM

A101

Scale As indicated

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DEMOLITION PLAN NOTES:

1. DO NOT SCALE THESE DRAWINGS
2. ALL DIMENSIONS TO BE VERIFIED IN THE FIELD
3. ALL DIMENSIONS SHOWN ARE FROM **FACE OF FINISH TO FACE OF FINISH** UNLESS NOTED OTHERWISE
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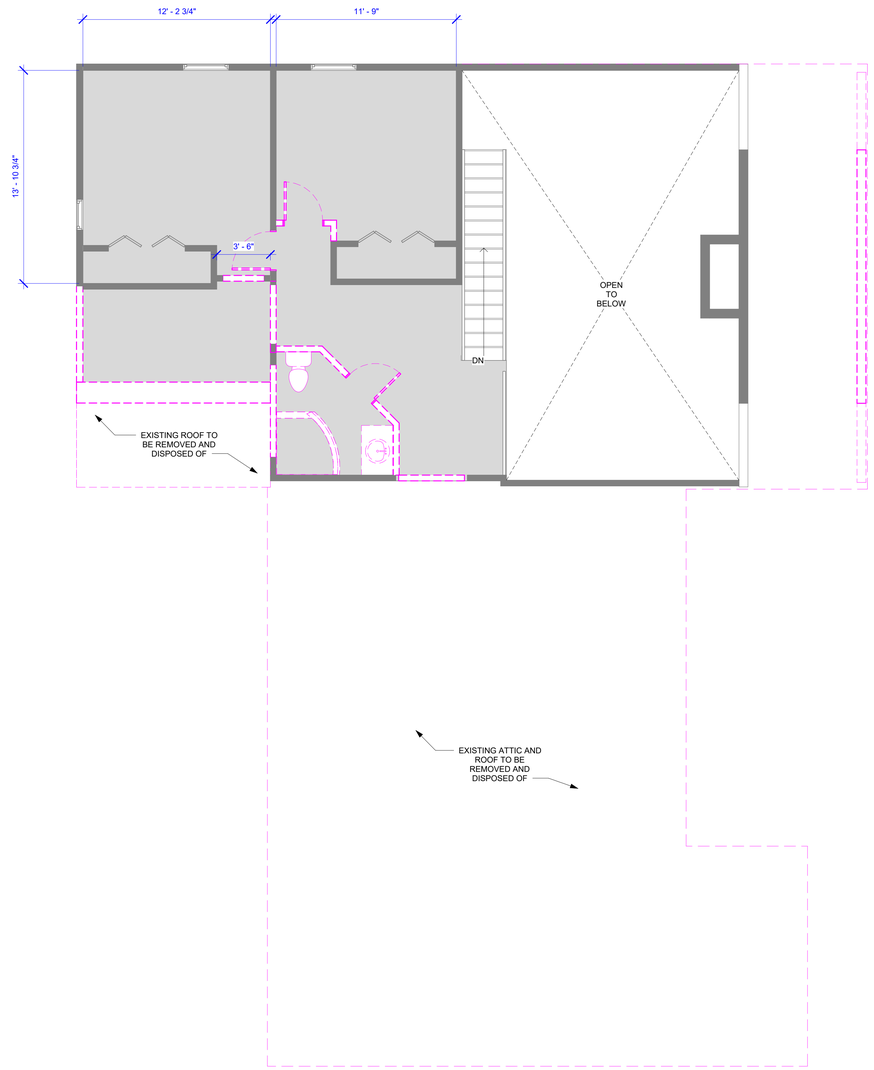
6. ALL EXISTING ELECTRICAL FIXTURES AND WIRING TO BE REMOVED AND DISPOSED OF.
7. ALL EXISTING WINDOWS TO BE REMOVED AND DISPOSED OF.
8. ALL HARDWOOD FLOORING TO REMAIN. ALL LAMINATE AND TILE FLOORING TO BE REMOVED AND DISPOSED OF.
9. ALL HVAC SYSTEMS AND DUCT WORK TO BE REMOVED AND DISPOSED OF.

DEMOLITION LEGEND

EXISTING TO BE REMOVED:	
EXISTING TO REMAIN:	



1 Second Floor Existing & Demo
1/4" = 1'-0"

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PROJECT: Fleeman Residence Remodel & Addition
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STATE OF GEORGIA
COURTNEY MORRISON
CERTIFICATE NO. 040317
REGISTERED ARCHITECT

November 14, 2025

Issuances

No.	Description	Date
	Schematic Design	8/29/2025
	Design Development	9/16/2025
	Historic Board Review	9/18/2025
	Issued for Permit	11/14/2025

EXISTING & DEMO UPPER LEVEL PLAN

Project number	20250505
Date	November 14,2025
Drawn by	Author
Checked by	Checker

A102

Scale	As indicated

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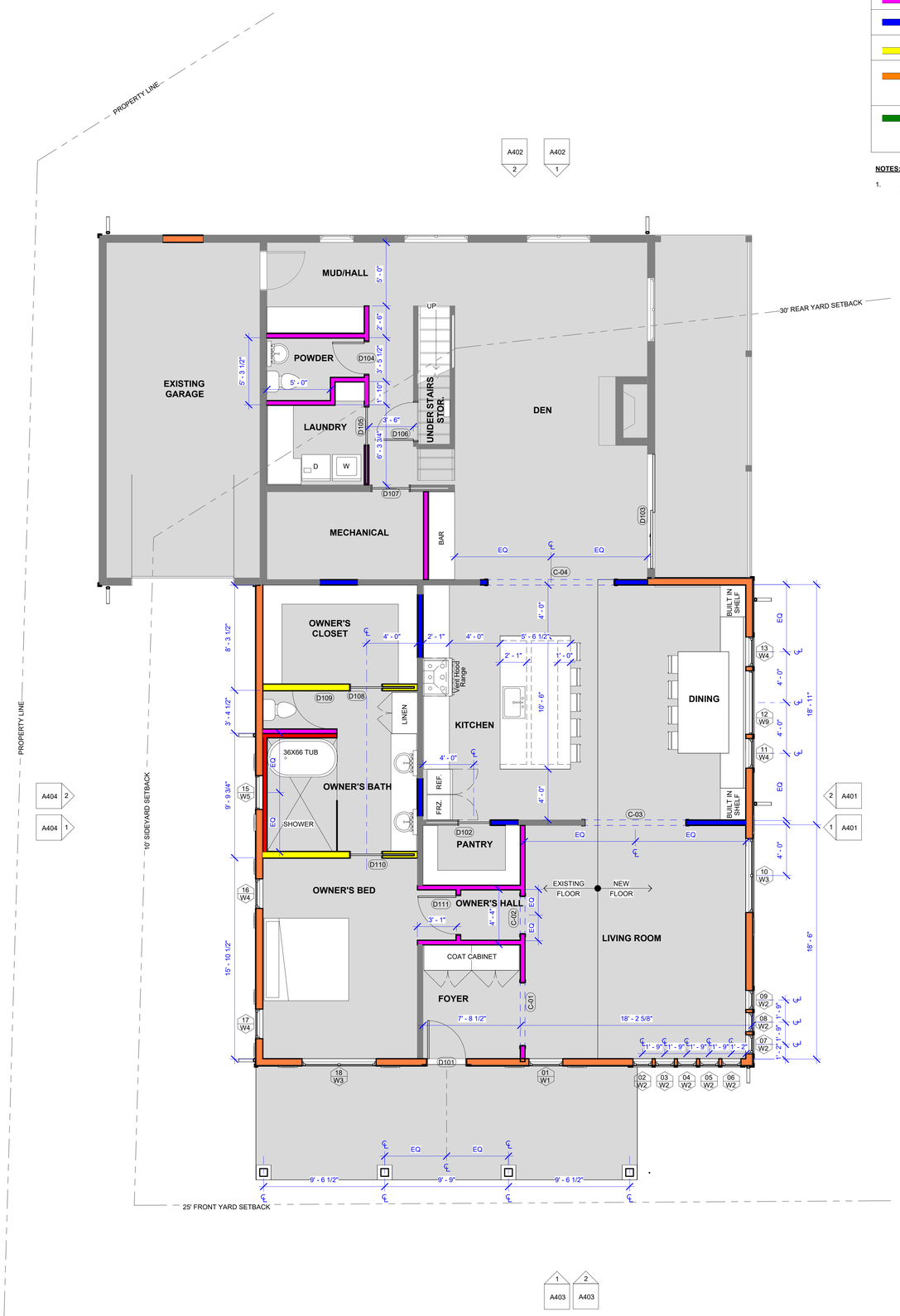
FLOOR PLAN NOTES:
1. DO NOT SCALE THESE DRAWINGS
2. ALL DIMENSIONS TO BE VERIFIED IN THE FIELD
3. ALL DIMENSIONS SHOWN ARE FROM **FACE OF GYP** AT EXISTING WALLS TO **FACE OF STUD** AT NEW WALLS.

WALL LEGEND

SYMBOL	DESCRIPTION	ASSEMBLY
	EXISTING PARTITION	EXISTING PARTITION, V.I.F.
	2X4 NOMINAL INTERIOR PARTITION	2X4 NOMINAL WOOD STUD 1/2" GYPSUM BOARD ON EACH SIDE
	2X4 **ACTUAL** INTERIOR PARTITION	2X4 ACTUAL WOOD STUD 5/8" PLASTER ON EACH SIDE
	2X6 NOMINAL INTERIOR PARTITION	2X6 NOMINAL WOOD STUD 1/2" GYPSUM BOARD ON EACH SIDE
	2X6 NOMINAL EXTERIOR	2X6 NOMINAL WOOD STUD 1/2" GYPSUM INTERIOR SIDE, 1/2" EXTERIOR SHEATHING WEATHER RESISTANT MEMBRANE REFER TO ELEVATIONS FOR FINISH
	2X4 NOMINAL EXTERIOR	2X4 NOMINAL WOOD STUD 1/2" GYPSUM INTERIOR SIDE 1/2" EXTERIOR SHEATHING WEATHER RESISTANT MEMBRANE REFER TO ELEVATIONS FOR FINISH

NOTES:

1. AT INFILL CONDITIONS THE THICKNESS OF STUD AND FINISH TO MATCH ADJACENT. NO JOINTS SHOULD BE VISIBLE BETWEEN EXISTING AND NEW CONSTRUCTION.



1 First Floor
1/4" = 1'-0"

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PROJECT: Fleeman Residence Remodel & Addition
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STATE OF GEORGIA
COURTNEY BRYANT MORRISON
CERTIFICATE NO. 040475
REGISTERED ARCHITECT

November 14, 2025

Issuances

No.	Description	Date
	Schematic Design	8/29/2025
	Design Development	9/16/2025
	Historic Board Review	9/18/2025
	Issued for Permit	11/14/2025

NEW LOWER LEVEL PLAN

Project number	20250505
Date	November 14,2025
Drawn by	CM
Checked by	CM

A103

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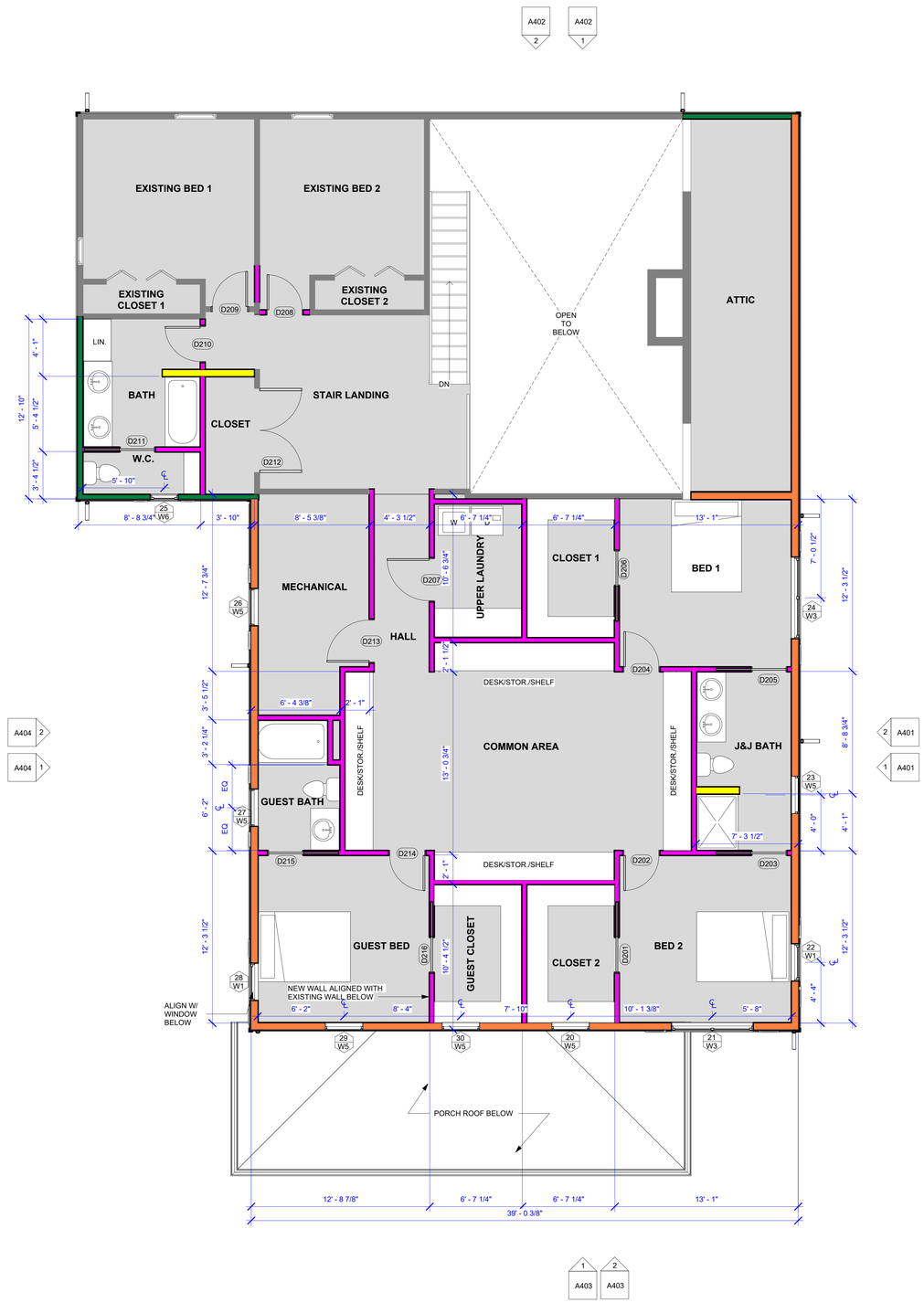
FLOOR PLAN NOTES:
1. DO NOT SCALE THESE DRAWINGS
2. ALL DIMENSIONS TO BE VERIFIED IN THE FIELD
3. ALL DIMENSIONS SHOWN ARE FROM **FACE OF GYP** AT EXISTING WALLS TO **FACE OF STUD** AT NEW WALLS.

WALL LEGEND

SYMBOL	DESCRIPTION	ASSEMBLY
	EXISTING PARTITION	EXISTING PARTITION, V.I.F.
	2X4 NOMINAL INTERIOR PARTITION	2X4 NOMINAL WOOD STUD 1/2" GYPSUM BOARD ON EACH SIDE
	2X4 **ACTUAL** INTERIOR PARTITION	2X4 ACTUAL WOOD STUD 5/8" PLASTER ON EACH SIDE
	2X6 NOMINAL INTERIOR PARTITION	2X6 NOMINAL WOOD STUD 1/2" GYPSUM BOARD ON EACH SIDE
	2X6 NOMINAL EXTERIOR	2X6 NOMINAL WOOD STUD 1/2" GYPSUM INTERIOR SIDE, 1/2" EXTERIOR SHEATHING WEATHER RESISTANT MEMBRANE REFER TO ELEVATIONS FOR FINISH
	2X4 NOMINAL EXTERIOR	2X4 NOMINAL WOOD STUD 1/2" GYPSUM INTERIOR SIDE 1/2" EXTERIOR SHEATHING WEATHER RESISTANT MEMBRANE REFER TO ELEVATIONS FOR FINISH

NOTES:

1. AT INFILL CONDITIONS THE THICKNESS OF STUD AND FINISH TO MATCH ADJACENT. NO JOINTS SHOULD BE VISIBLE BETWEEN EXISTING AND NEW CONSTRUCTION.



1 Second Floor
1/4" = 1'-0"

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PROJECT: Fleeman Residence Remodel & Addition
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Marietta, GA 30060

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STATE OF GEORGIA
COURTNEY BRYANT MORRISON
CERTIFICATE NO. 21911
REGISTERED ARCHITECT

November 14, 2025

Issuances

No.	Description	Date
	Schematic Design	8/29/2025
	Design Development	9/16/2025
	Historic Board Review	9/18/2025
	Issued for Permit	11/14/2025

NEW UPPER LEVEL PLAN

Project number	20250505
Date	November 14,2025
Drawn by	CM
Checked by	CM

A104

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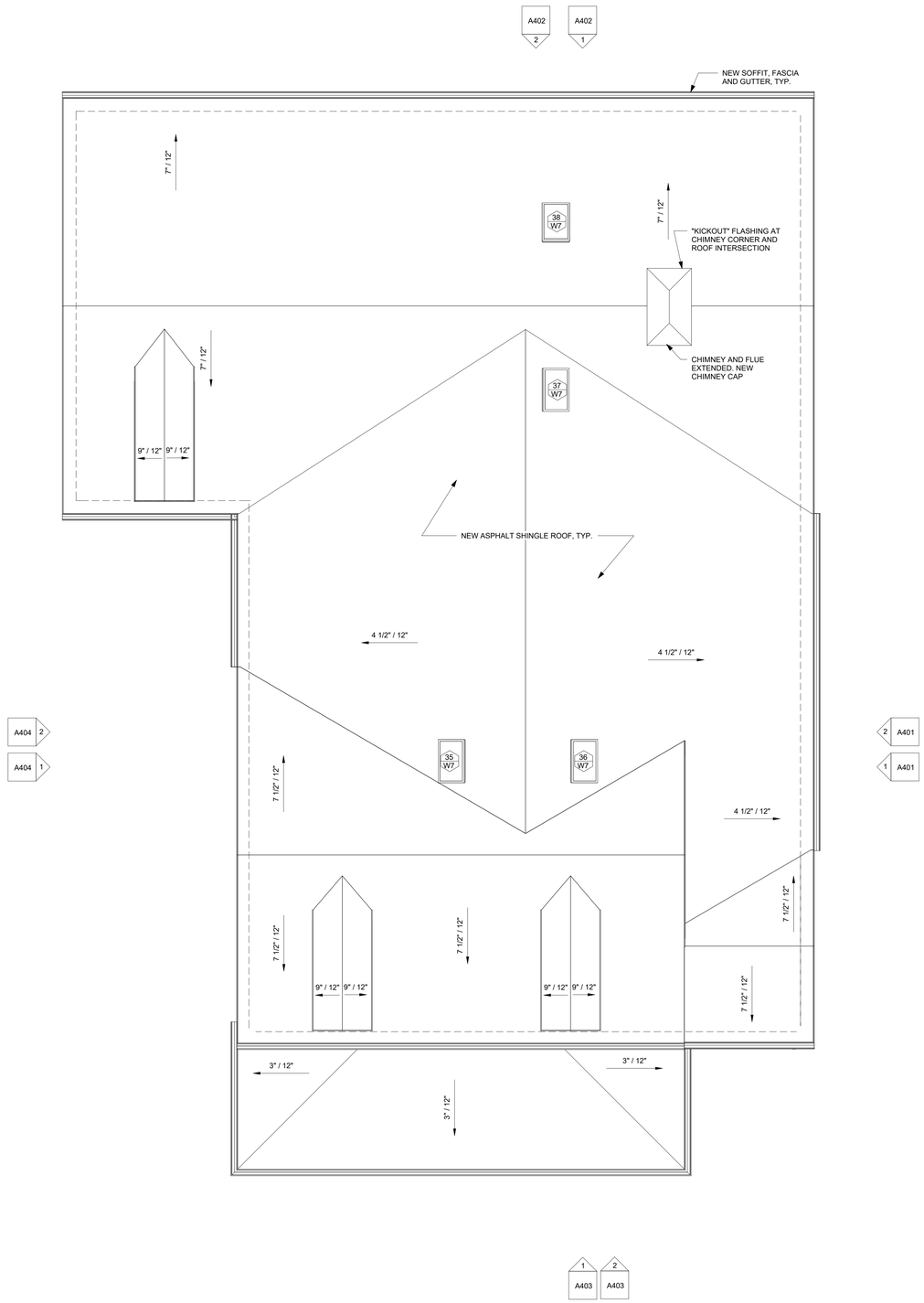

1 Roof Plan
1/4" = 1'-0"

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ARCHITECTURE & DESIGN

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PROJECT: Fleeman Residence Remodel & Addition
245 Forest Avenue NE
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STATE OF GEORGIA
COURTNEY LORYANN MORRISON
CERTIFICATE NO. 040317
REGISTERED ARCHITECT

November 14, 2025

Issuances

No.	Description	Date
	Schematic Design	8/29/2025
	Design Development	9/16/2025
	Historic Board Review	9/16/2025
	Issued for Permit	11/14/2025

ROOF PLAN

Project number	20250505
Date	November 14,2025
Drawn by	CM
Checked by	CM

A105

Scale 1/4" = 1'-0"

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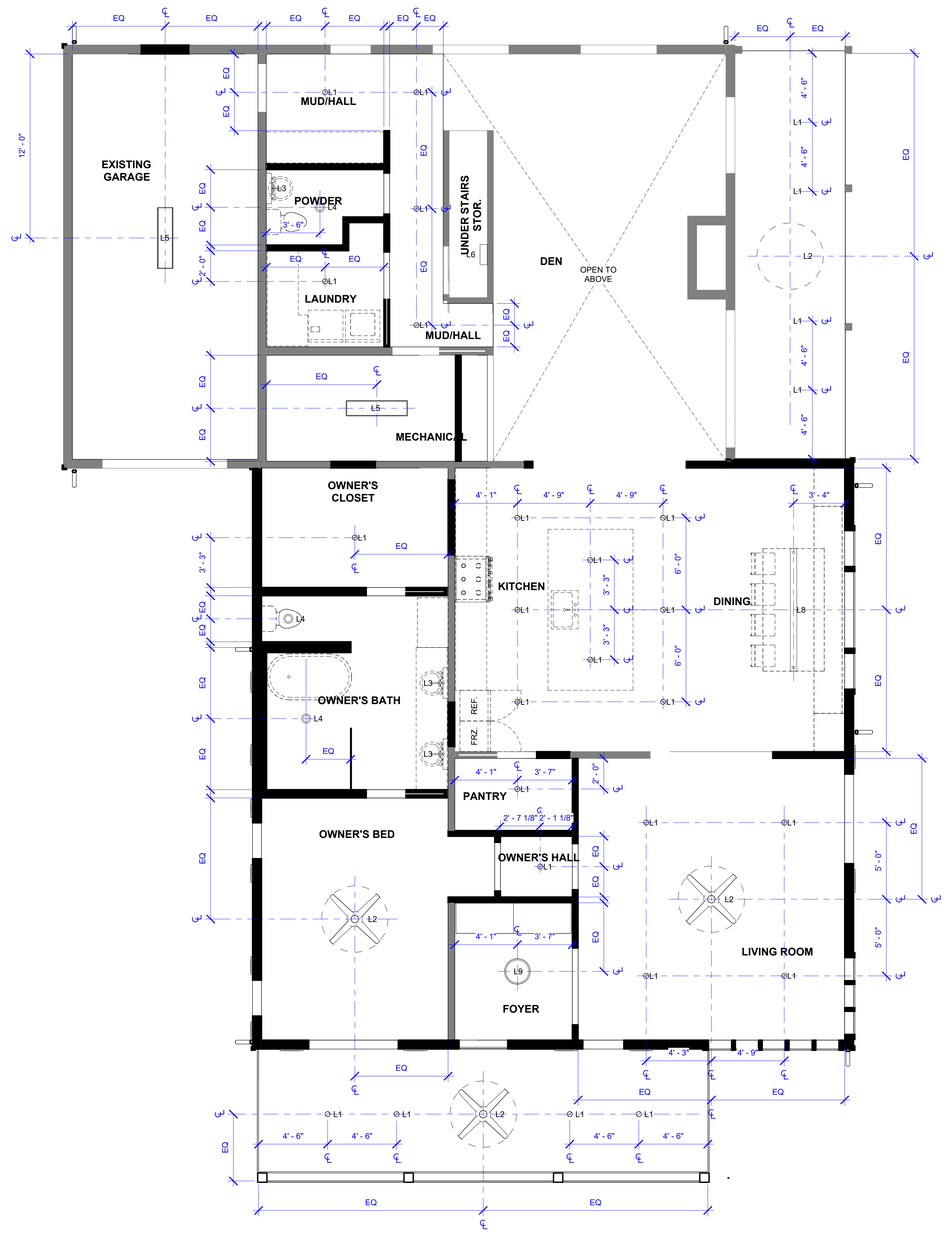

1 First Floor
1/4" = 1'-0"

MADE
ARCHITECTURE & DESIGN

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PROJECT: Fleeman Residence Remodel & Addition
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STATE OF GEORGIA
COURTNEY BRYANT MORRISON
CERTIFICATE NO. 040_____
REGISTERED ARCHITECT

November 14, 2025

Issuances

No.	Description	Date
	Design Development	9/16/2025
	Issued for Permit	11/14/2025

NEW LOWER LEVEL R.C.P.

Project number	20250505
Date	November 14,2025
Drawn by	CM
Checked by	CM

A201

Scale 1/4" = 1'-0"

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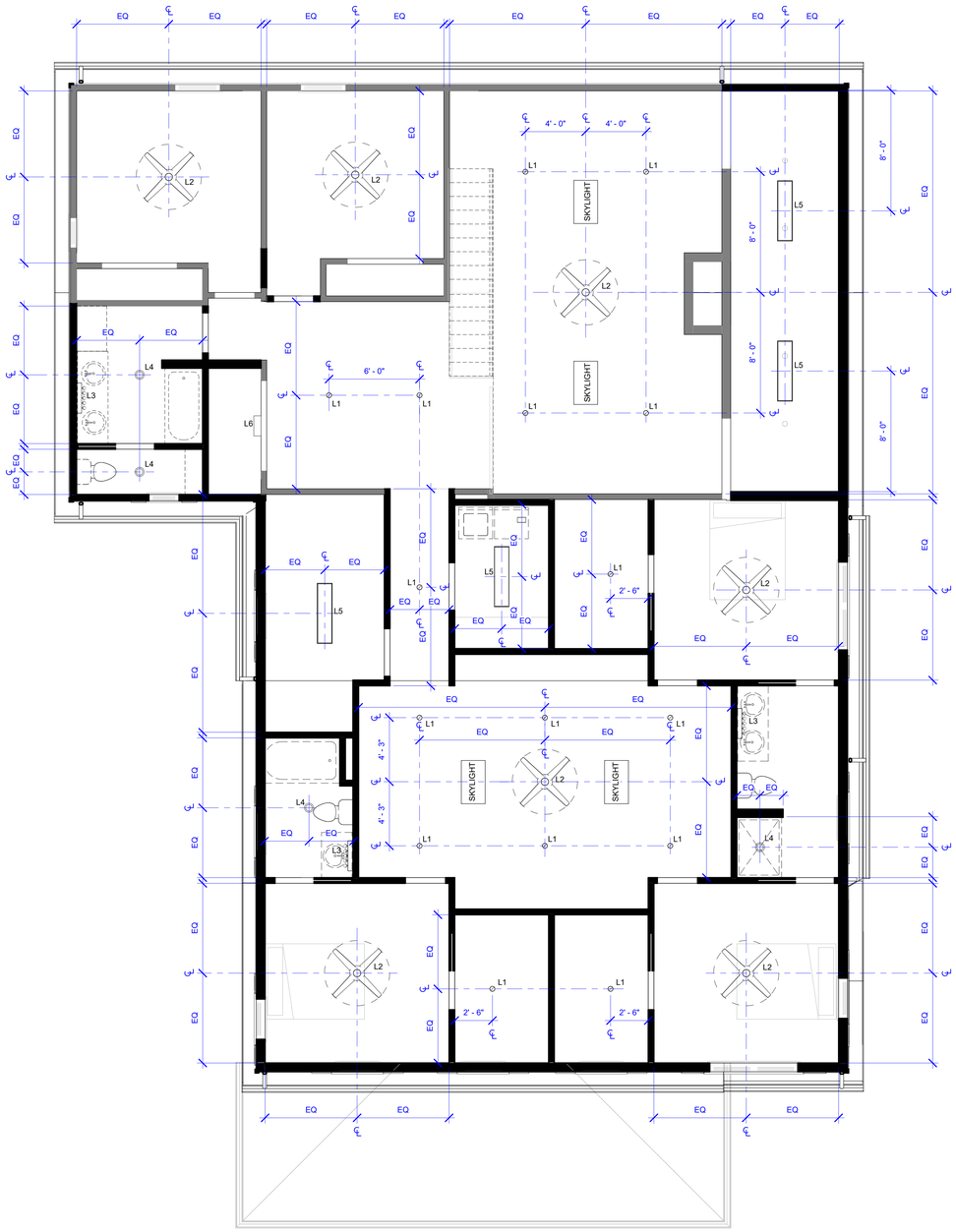

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STATE OF GEORGIA
COURTNEY MORRISON
CERTIFICATE NO. 040317
REGISTERED ARCHITECT

November 14, 2025

Issuances

No.	Description	Date
	Design Development	9/16/2025
	Issued for Permit	11/14/2025

NEW UPPER LEVEL R.C.P.

Project number	20250505
Date	November 14,2025
Drawn by	CM
Checked by	CM

A202

Scale 1/4" = 1'-0"

11/14/2025 8:46:21 AM

BLDG2511065886

2 East - Color
1/4" = 1'-0"

ELEVATION NOTES
1. ALL TRIM TO BE 5/4" THICKNESS
2. INSTALL TRANSITION FLASHING AT EVERY HORIZONTAL CHANGE IN MATERIAL.

1 East
1/4" = 1'-0"

MADE
ARCHITECTURE & DESIGN

www.madearchitecture.design

PROJECT: Fleeman Residence Remodel & Addition
245 Forest Avenue NE
Marietta, GA 30060

ARCHITECT: Made Architecture, LLC
Courtney Morrison, NCARB
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STRUCTURAL ENGINEER: Fernz Engineering
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STATE OF GEORGIA
COURTNEY BRYANT K. MORRISON
CERTIFICATE NO. 0401-1247
REGISTERED ARCHITECT

November 14, 2025

Issuances

No.	Description	Date
	Design Development	9/16/2025
	Historic Board Review	9/18/2025
	Issued for Permit	11/14/2025

ELEVATIONS

Project number	20250505
Date	November 14,2025
Drawn by	CM
Checked by	CM

A401

Scale As indicated

11/14/2025 8:46:28 AM

BLDG2511065886

2 North - Color
1/4" = 1'-0"

ELEVATION NOTES
1. ALL TRIM TO BE 5/4" THICKNESS
2. INSTALL TRANSITION FLASHING AT EVERY HORIZONTAL CHANGE IN MATERIAL.

1 North
1/4" = 1'-0"

MADE
ARCHITECTURE & DESIGN

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PROJECT: Fleeman Residence Remodel & Addition
245 Forest Avenue NE
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STATE OF GEORGIA
COURTNEY BRYANT MORRISON
CERTIFICATE NO. 0401-127
REGISTERED ARCHITECT

November 14, 2025

Issuances

No.	Description	Date
	Design Development	9/16/2025
	Historic Board Review	9/18/2025
	Issued for Permit	11/14/2025

ELEVATIONS

Project number	20250505
Date	November 14,2025
Drawn by	CM
Checked by	CM

A402

Scale As indicated

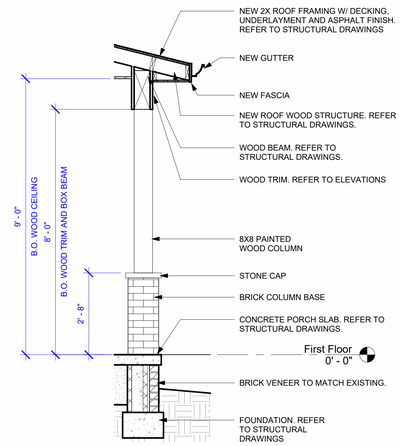
11/14/2025 8:46:34 AM

BLDG2511065886

2 South - Color Far
1/4" = 1'-0"

ELEVATION NOTES
1. ALL TRIM TO BE 5/4" THICKNESS
2. INSTALL TRANSITION FLASHING AT EVERY HORIZONTAL CHANGE IN MATERIAL.

1 South
1/4" = 1'-0"



3 SECTION AT PORCH COLUMN
1/2" = 1'-0"

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STATE OF GEORGIA
COURTNEY BRYANT MORRISON
CERTIFICATE NO. 0401,0401
REGISTERED ARCHITECT

November 14, 2025

Issuances

No.	Description	Date
	Schematic Design	8/29/2025
	Design Development	9/16/2025
	Historic Board Review	9/18/2025
	Issued for Permit	11/14/2025

ELEVATIONS & DETAILS

Project number	20250505
Date	November 14,2025
Drawn by	CM
Checked by	CM

A403

Scale As indicated

11/14/2025 8:46:40 AM

BLDG2511065886

2 West - Color
1/4" = 1'-0"

ELEVATION NOTES
1. ALL TRIM TO BE 5/4" THICKNESS
2. INSTALL TRANSITION FLASHING AT EVERY HORIZONTAL CHANGE IN MATERIAL.

1 West
1/4" = 1'-0"

MADE
ARCHITECTURE & DESIGN

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STATE OF GEORGIA
COURTNEY LORYANN MORRISON
CERTIFICATE NO. 040317
REGISTERED ARCHITECT

November 14, 2025

Issuances

No.	Description	Date
	Design Development	9/16/2025
	Historic Board Review	9/18/2025
	Issued for Permit	11/14/2025

ELEVATIONS

Project number	20250505
Date	November 14,2025
Drawn by	CM
Checked by	CM

A404

Scale As indicated

11/14/2025 8:46:47 AM

BLDG2511065886

1. DESIGN CRITERIA

A. CODE: 2018 INTERNATIONAL BUILDING CODE W/ GEORGIA AMENDMENTS
2018 INTERNATIONAL RESIDENTIAL CODE W/ GEORGIA AMENDMENTS

B. RISK CATEGORY II

C. GRAVITY

RESIDENTIAL AREA DEAD LOADS
- ROOF ..... 15 PSF
- FLOORS ..... 15 PSF
- DECK ..... 12 PSF

RESIDENTIAL AREA LIVE LOADS
- PITCHED ROOF (REDUCED) ..... 12 PSF
- FLAT ROOF ..... 20 PSF
- UNINHABITABLE ATTICS W/O STORAGE ..... 10 PSF
- UNINHABITABLE ATTICS W/ LIMITED STORAGE ..... 20 PSF
- HABITABLE ATTICS ..... 10 PSF
- DECKS ..... 40 PSF
- COMMON AREAS ..... 40 PSF
- SLEEPING AREAS ..... 30 PSF
- STAIRS ..... 40 PSF
- PASSENGER VEHICLE GARAGE ..... 50 PSF

RESIDENTIAL AREA CONCENTRATED LOADS
- GUARDS ..... 200 LB
- GUARD IN-FILL COMPONENTS ..... 50 LB
- HANDRAIL ..... 200 LB
- STAIRS ..... 300 LB
- PASSENGER VEHICLE GARAGE ..... 2.0 K

RESIDENTIAL WALL DEAD LOAD
- INTERIOR BEARING WALL ..... 10 PSF
- EXTERIOR W/ SIDING ..... 15 PSF
- EXTERIOR W/ BRICK ..... 50 PSF
- EXTERIOR W/ EIFS ..... 20 PSF

SNOW
- GROUND SNOW LOAD (P_g) ..... 5 PSF
- EXPOSURE FACTOR (C_e) 0.9
- THERMAL FACTOR (C_t) 1.1
- IMPORTANCE FACTOR (I_s) 1.0
- SLOPE FACTOR (C_s) 1.0
- FLAT ROOF SNOW LOAD (P_f) ..... 4.5 PSF
- SLOPED ROOF SNOW LOAD (P_s) ..... 5 PSF
- MINIMUM ROOF SNOW LOAD (P_M) ..... 5 PSF

RAIN
- 60 MINUTE DURATION ..... 3.3 IN/HR

A. LATERAL

WIND
- BASIC WIND SPEED (V) ..... 107 MPH
- ALLOWABLE STRESS DESIGN WIND SPEED (V_{asd}) ..... 90 MPH
- EXPOSURE CATEGORY (PLAN E-W) ..... B
- EXPOSURE CATEGORY (PLAN N-S) ..... B
- BUILDING CLASSIFICATION ..... ENCLOSED
- INTERNAL PRESSURE COEFFICIENT, GC/Pi ..... ±0.18
- COMPONENTS & CLADDING ..... SEE DWG S004

SEISMIC
- SEISMIC IMPORTANCE FACTOR (I_e) 1.0
- SHORT PERIOD RESPONSE COEFF (S_s) 0.215g
- 1 SEC PERIOD RESPONSE COEFF (S_1) 0.090g
- SOIL SITE CLASS C
- SHORT PERIOD RESPONSE COEFF (S_{DS}) 0.186g
- 1 SEC PERIOD RESPONSE COEFF (S_{D1}) 0.090g
- RESPONSE MODIFICATION FACTOR (R)
  - WOOD SHEAR WALLS 6.5
- DEFLECTION AMPLIFICATION FACTOR (Cd)
  - WOOD SHEAR WALLS 4
- ANALYSIS PROCEDURE ..... E.L.F.P.
- SEISMIC DESIGN CATEGORY ..... B
- DESIGN BASE SHEAR (V)
- SEISMIC FORCE RESISTING SYSTEM:
  - LIGHT-FRAMED WALLS SHEATHED WITH STRUCTURAL PANELS
- SEISMIC RESPONSE COEFFICIENT (Cs):
  - WOOD SHEAR WALLS 0.035
- BASE SHEAR:
  - WOOD SUPERSTRUCTURE ..... 9.6 K

2. GENERAL

A. THE FOLLOWING CONSTRUCTION SPECIFICATIONS ARE A SUPPLEMENT TO ALL OTHER REQUIREMENTS. WHERE CONFLICTS EXIST OR WHEN MANUFACTURER SPECIFICATIONS AND LOCAL CODE REQUIREMENTS ARE IN EXCESS OF THOSE CONTAINED HEREIN, THE STRICTEST REQUIREMENT SHALL GOVERN.

B. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW AND SUBMIT ALL SHOP DRAWINGS FOR DELEGATED DESIGN AND REPORT ALL DISCREPANCIES TO THE ENGINEER PRIOR TO FABRICATION OR ERECTION.

C. ALL DIMENSIONS TO TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS, AND DETAILS.

D. SPECIFIC NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.

E. WHERE A SECTION IS CUT ON THE DRAWINGS, IT SHALL APPLY AT ALL LIKE OR SIMILAR CONDITIONS UNO

F. SEE ARCHITECTURAL DRAWINGS FOR THE FOLLOWING:
1. SLAB EDGE & WALL DIMENSIONS.
2. SIZE & LOCATION OF ALL DOOR AND WINDOW OPENINGS.
3. ROOF, FLOOR & WALL FINISHES.
4. DETAILS OF VENEER ATTACHMENT & WATERPROOFING.
5. LOCATION & EXTENT OF INSULATION.

G. THE STRUCTURAL DRAWINGS REPRESENT THE FINISHED STRUCTURE, UNLESS OTHERWISE INDICATED. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ALL MEANS AND METHODS OF CONSTRUCTION AND SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKMEN, OR OTHER PERSONS DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO: BRACING, SHORING FOR CONSTRUCTION EQUIPMENT, SHORING FOR THE BUILDING, SHORING FOR EARTH BANKS, FORMS, SCAFFOLDING, PLANKING, SAFETY NETS, SUPPORT, AND BRACING FOR CRANES, ETC.

H. ALL SUBMITTALS SHALL BE REVIEWED AND APPROVED BY PROJECT ENGINEER OF RECORD PRIOR TO FABRICATION AND INSTALLATION.

I. REVIEWED AND APPROVED SHOP DRAWINGS SHALL BE AVAILABLE AT THE JOB SITE DURING TIMES OF INSPECTION.

3. FOUNDATION

A. NO CIVIL OR SURVEYING INFORMATION WAS FURNISHED FOR THIS PROJECT; THEREFORE, FINAL GRADING INFORMATION SHALL BE CONFIRMED IN THE FIELD BY THE GC. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM ALL FOUNDATIONS WITH A GRADE FALL OF NOT LESS THAN 6" WITHIN THE FIRST 10' (5% SLOPE) MEASURED PERPENDICULAR TO ALL EXTERIOR WALLS, OTHERWISE DRAINS OR SWALES SHALL BE CONSTRUCTED.

B. FOUNDATIONS PLACED ON SLOPES EXCEEDING 1 VERTICAL UNIT TO 3 HORIZONTAL UNITS (33% SLOPE) SHALL HAVE A GEOTECHNICAL INVESTIGATION REPORT FURNISHED AND SUBMITTED TO THE ENGINEER, AND CONTAINING ADDITIONAL MINIMUM FOOTING WIDTH, FOOTING DEPTH AND ANY ADDITIONAL SLOPE STABILITY INFORMATION FOR REVIEW AND INCLUSION INTO THE FOUNDATION DESIGN CONTAINED WITHIN THESE DRAWINGS.

C. MINIMUM FROST DEPTH = 12".

D. NO GEOTECHNICAL EVALUATION REPORT WAS FURNISHED FOR THIS PROJECT; THEREFORE, BEARING CAPACITY AND LATERAL EARTH PRESSURES ARE ASSUMED AND BASED ON THE 2018 IBC & IRC U.N.O.

E. FOUNDATION DESIGN CRITERIA:

FOUNDATION SYSTEM:
- SHALLOW FOUNDATIONS BEARING ON RESIDUAL SOIL/ ENGINEERED FILL

MIN ALLOWABLE BEARING PRESSURE:
- FOOTINGS ..... 2,000 PSF

SOIL DESIGN CRITERIA:
- SOIL DENSITY HEEL ..... 110 PCF
- SOIL DENSITY TOE ..... 110 PCF
- SUBGRADE MODULUS (ACI 360R-10) ..... 125 PCF

LATERAL EARTH PRESSURE:
- ACTIVE W/ DRAINAGE PROVIDED ..... 45 PSF/FT
- AT-REST ..... 100 PSF/FT
- PASSIVE ..... 300 PSF/FT
- SOIL FRICTION FACTOR 0.25

FACTORS OF SAFETY:
- FS FOR PASSIVE EARTH PRESSURE 2.0
- FS AGAINST OVERTURNING 1.5
- FS AGAINST SLIDING 1.5

F. ACTUAL ALLOWABLE BEARING AND LATERAL EARTH PRESSURES SHALL BE VERIFIED BY THE AUTHORITY HAVING JURISDICTION INSPECTOR, OR A REGISTERED SOILS ENGINEER PRIOR TO FOOTING PLACEMENT.

G. CONTRACTOR TO PROVIDE FOR DE-WATERING IN EXCAVATIONS FROM EITHER SURFACE WATER, GROUND WATER, OR SEEPAGE.

H. CONTRACTOR SHALL PROVIDE AND INSTALL ALL CRIBBING, SHEATHING AND SHORING REQUIRED TO SAFELY RETAIN THE EARTH BANKS.

I. CONTRACTOR SHALL PROTECT ALL UTILITY LINES, ETC., ENCOUNTERED DURING EXCAVATION AND BACKFILLING.

J. ALL EXCAVATIONS SHALL BE PROPERLY BACKFILLED AND COMPACTED IN LIFTS FREE OF ORGANIC MATERIAL, CONSTRUCTION DEBRIS, COBBLES, & BOULDERS, BUT NOT BEFORE CONCRETE HAS ATTAINED 75% DESIGN STRENGTH.

K. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH REQUIREMENTS IN THE BUILDING CODES ABOVE AND GENERALLY ACCEPTABLE BUILDING PRACTICES REQUIREMENTS IN ORDER TO ACHIEVE THE MINIMUM ALLOWABLE BEARING PRESSURE NOTED ABOVE.

L. WATER DRAINAGE SYSTEMS, ON THE BACK FILL SIDE OF RETAINING WALLS, ARE SHOWN AS REPRESENTATION ONLY. WALLS HAVE NOT BEEN DESIGNED TO SUPPORT HYDROSTATIC PRESSURES. DRAINAGE SYSTEMS SHALL BE PROVIDED IN ACCORDANCE THE ADOPTED BUILDING CODES LISTED IN NOTE #1 ABOVE.

4. CONCRETE

A. PORTLAND CEMENT SHALL CONFORM TO ASTM C150, TYPE I.

B. MIXING AND DELIVERY OF CONCRETE SHALL CONFORM TO ASTM C94 OR C685.

C. FORMING MATERIAL, TIE MATERIAL, AND MEANS AND METHODS IS THE RESPONSIBILITY OF THE GC.

D. REFER TO ARCHITECTURAL DRAWINGS FOR CLIPS, GROOVES, GROUNDS, ETC., TO BE CAST IN CONCRETE AND CONCRETE FINISHES.

E. ALL REINFORCING BARS, ANCHOR BOLTS AND OTHER CONCRETE INSERTS SHALL BE SECURED IN POSITION PRIOR TO PLACING CONCRETE.

F. SEE GENERAL NOTE #5 FOR CONCRETE PROTECTION OF REINFORCEMENT OF CAST-IN-PLACE MEMBERS.

G. SLEEVE PLUMBING OPENINGS IN SLABS BEFORE PLACING CONCRETE AND BEND REINFORCING AROUND SLEEVES. CORING NOT PERMITTED IN FLOOR SLABS, UNLESS APPROVED BY ENGINEER.

H. THE FOLLOWING CHART SHALL BE USED TO DETERMINE MINIMUM COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS, MAXIMUM WATER TO CEMENTITIOUS MATERIAL RATIO (W/CM), AND ENTRAINED AIR CONTENT UNLESS SPECIFICALLY NOTED OTHERWISE:

STRUCTURAL COMPONENT		EXPOSURE CATEGORY F[1] CLASS	S[2,7] CLASS	P CLASS	C[5] CLASS	MIN[3] F'c (PSI)	MAX[3] W/ CM	ENTRAINED[4] AIR CONTENT +/- 1/2%
EXTERIOR WALLS		F1	S0	P0	C0	3500	N/A	6%
FOOTINGS	ALL	F0	S0	P0	C0	3500	N/A	6%
SOG	INT	F0	S0	P0	C0	3000	N/A	N/A
SOG	GARAGE	F0	S0	P0	C0	4000	N/A	6%

NOTES:

1. FOR F3 CLASS SEE ACI 318 TABLE 26.4.2.2(b) FOR ADDITIONAL CONCRETE MIXTURE REQUIREMENTS.
2. MINIMUM IS BASED ON MAXIMUM OF DESIGN AND GOVERNING EXPOSURE CLASS REQUIREMENTS.
3. MAXIMUM IS BASED ON GOVERNING EXPOSURE CLASS REQUIREMENTS.
4. BASED ON MAXIMUM 3/4" AGGREGATE SIZE.
5. SEE ACI 318 TABLE 19.3.2.1 FOR CEMENTITIOUS MATERIAL AND CALCIUM CHLORIDE ADMIXTURE RESTRICTIONS.
6. SEE ACI 318 TABLE 19.3.2.1 FOR MAXIMUM WATER-SOLUBLE CHLORIDE ION CONTENT.
7. S0 EXPOSURE ASSUMED. GC SHALL VERIFY WITH GEOTECHNICAL REPORT.

I. CONCRETE SLUMP SHALL BE AS FOLLOWS:
1. REMOVABLE FORMS: 3" TO 5" AT TIME OF PLACEMENT (±1" MAX).
2. STAY-IN-PLACE FORMS: GREATER THAN 6" PER ASTM C143.

J. PLACED CONCRETE SHALL BE CONSOLIDATED BY SUITABLE MEANS TO BE WORKED AROUND EMBEDDED ITEMS, REINFORCEMENT AND INTO FORM CORNERS.

K. CONCRETE MIX DESIGNS SHALL BE ESTABLISHED BY THE SUPPLIER IN ACCORDANCE WITH THE ABOVE REFERENCED STANDARDS. CONFORMANCE TO THE ABOVE MIX DESIGN REQUIREMENTS ARE THE RESPONSIBILITY OF THE CONCRETE SUPPLIER. CONCRETE SUPPLIER MAY SUBMIT PROPOSED MIX DESIGNS TO THE ENGINEER FOR REVIEW PRIOR TO CONCRETE PLACEMENT.

5. REINFORCING STEEL

A. REINFORCING BARS SHALL BE DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60.

B. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.

C. ALL REINFORCING BAR BENDS ARE TO BE MADE COLD AND IN COMPLIANCE WITH ACI 318.

D. ALL REINFORCING SHALL BE SECURED IN THE PROPER LOCATION IN THE FORMS TIE WIRE OR OTHER BAR SUPPORTS TO PREVENT DISPLACEMENT DURING CONCRETE OPERATION.

E. WALL REINFORCEMENT SHALL NOT VARY IN POSITION FROM THE SPECIFIED LOCATION MORE THAN 3/8".

F. ALL REINFORCING SHALL BE INSPECTED FOR SIZE, PLACEMENT, AND CLEAR COVER PRIOR TO PLACING CONCRETE.

G. BARS SHALL BE IN CONTACT WHEN FORMING A LAP SPLICE, UNLESS NOTED OTHERWISE.

H. PROVIDE CORNER BARS @ ALL TURN-DOWN SLAB CORNERS AND C.I.P. CONCRETE WALL CORNERS. PROVIDE 30" LAP BETWEEN CORNER BARS AND MAIN REINFORCING.

I. LAP WELDED WIRE MESH ONE FULL MESH AT SIDE AND END LAPS.

J. LONGITUDINAL REINFORCING IN EXTERIOR BUILDING FOUNDATIONS SHALL BE CONTINUOUS AND TIED TO BE IN CONTACT AT ALL SPLICE LOCATIONS. THE ELECTRICAL INSPECTOR SHALL INSPECT LONGITUDINAL REINFORCING IN EXTERIOR BUILDING FOUNDATIONS PRIOR TO CONCRETE PLACEMENT.

K. STANDARD HOOKS SHALL BE 16 x BAR DIAMETER UNLESS NOTED OTHERWISE.

L. CLEAR COVERAGE OF CONCRETE OVER OUTER REINFORCING BARS SHALL BE IN ACCORDANCE WITH ACI 318 AS SHOWN IN THE TABLE BELOW, UNLESS SPECIFICALLY DETAILED OTHERWISE ON THE DWGS.

CONCRETE COVER FOR CAST-IN-PLACE NON-PRESTRESSED CONCRETE MEMBERS (UNO)

CONCRETE EXPOSURE	MEMBER	REINFORCEMENT	SPECIFIED COVER, IN.
CAST AGAINST AND PERMANENTLY IN CONTACT WITH GROUND	ALL	ALL	3"
CAST AGAINST AND PERMANENTLY IN CONTACT WITH GROUND	ALL	NO. 6 THROUGH NO. 18 BARS	2"
		NO. 5 BAR, W31 OR D31 WIRE, AND SMALLER	1 1/2"
CAST AGAINST AND PERMANENTLY IN CONTACT WITH GROUND	SLABS AND WALLS	NO. 11 BARS AND SMALLER	3/4"

M. LAP SPLICES SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED IN DETAILS. SEE DETAILS FOR CLASS "A" OR "B" CALLOUTS. ALL FOOTING LONGITUDINAL AND WALL HORIZONTAL REINFORCING SHALL BE CLASS "A" LAP SPLICE UNLESS OTHERWISE NOTED.

LAP SPLICE LENGTH	3000 PSI CONC		3500 PSI CONC		4000 PSI CONC		5000 PSI CONC	
#4 BAR	CLASS "A"	CLASS "B"	CLASS "A"	CLASS "B"	CLASS "A"	CLASS "B"	CLASS "A"	CLASS "B"
	22"	30"	21"	28"	19"	25"	17"	22"
#5 BAR	CLASS "A"	CLASS "B"	CLASS "A"	CLASS "B"	CLASS "A"	CLASS "B"	CLASS "A"	CLASS "B"
	28"	36"	26"	33"	24"	32"	22"	28"
#6 BAR	CLASS "A"	CLASS "B"	CLASS "A"	CLASS "B"	CLASS "A"	CLASS "B"	CLASS "A"	CLASS "B"
	33"	43"	31"	40"	29"	37"	26"	34"
#7 BAR	CLASS "A"	CLASS "B"	CLASS "A"	CLASS "B"	CLASS "A"	CLASS "B"	CLASS "A"	CLASS "B"
	48"	63"	45"	58"	42"	54"	38"	49"

Fernz Structural

www.fernz-structural.com

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GEORGIA REGISTERED No. PE045304 PROFESSIONAL ENGINEER MICHAEL R. FERNANDEZ

November 14, 2025

Issuances

No.	Description	Date
	Issued for Permit	11/14/25

Issued for Construction

GENERAL NOTES

Project number	25-060
Date	10/15/2025
Drawn by	MRF
Checked by	MRF

S001

6. SILL PLATES

A. PRESERVATIVE TREATED WOOD IN ACCORDANCE WITH AWPA U1 SHALL BE USED FOR ALL SILL PLATES IN CONTACT WITH CONCRETE OR MASONRY.

B. SEE GENERAL NOTES "SOLID SAWN & ENGINEERED LUMBER" NOTE "F" FOR PRESERVATIVE TREATMENT REQUIREMENTS.

C. SEE GENERAL NOTE "WOOD FASTENERS & HARDWARE" NOTE "D" FOR CORROSION RESISTANCE REQUIREMENTS.

D. SILL PLATES SHALL BE ANCHORED TO CONCRETE OR MASONRY FOUNDATIONS WITH ½" DIAMETER ASTM A307 ANCHOR BOLTS @ 72" OC MAXIMUM WITH 7" MINIMUM CONCRETE EMBEDMENT. PROVIDE ANCHOR BOLTS AT NOT MORE THAN 12" NOR LESS THAN 4" FROM ENDS OF EACH PLATE WITH 2 ANCHOR BOLTS MINIMUM IN ANY PLATE.

EXCEPTIONS:

1. INTERIOR SILL PLATES MAY BE ANCHORED WITH POWDER ACTUATED FASTENERS. SPACE FASTENERS @ 18" OC MAXIMUM AND PROVIDE PINS @ 6" AND 10" FROM ENDS OF PLATE WITH 2 FASTENERS MINIMUM IN ANY PLATE. ACCEPTABLE FASTENERS INCLUDE:

   a. HILTI X-CP 72 P8S23
   b. RAMSET RAMGUARD 1524 SDE x 3" LONG
   c. SIMPSON PAF PDPAWL287 X 2-7/8" LONG

2. SILL PLATES MAY BE ANCHORED TO MASONRY OR CONCRETE FOUNDATIONS WITH SIMPSON MASA OR MASAP ANCHORS AT 48" OC MAXIMUM. PLACE ANCHORS NO MORE THAN 12" FROM THE END OF EACH PLATE W/ 2 ANCHOR MINIMUM PER PLATE. USE ANCHOR WITH A FINISH COMPATIBLE WITH THE TYPE OF PRESERVATIVE TREATMENT USED ON THE SILL PLATES.

E. BRACING WALL SILL PLATE ANCHORAGE SHALL GOVERN WITH REGARD TO ANCHOR TYPE AND SPACING. SEE WALL FRAMING PLANS (S2 SERIES) AND BRACING WALL SCHEDULES (S4 SERIES) FOR ADDITIONAL INFO.

7. SOLID SAWN & ENGINEERED LUMBER

A. ALL SAWN LUMBER SHALL BE VISUALLY GRADED, SOUTHERN YELLOW PINE (SYP)/SPRUCE PINE FIR (SPF) DIMENSION LUMBER, SEASONED AND WITH 19% MAX MOISTURE CONTENT, UNO, AND IN ACCORDANCE WITH THE FOLLOWING MINIMUM GRADE REQUIREMENTS:

STUDS..... SPF/SYP STRUCT. GRADE NO. 2
JOISTS..... SYP STRUCT. GRADE NO. 2
BEAMS (2"-4" THICK)..... SYP STRUCT. GRADE NO. 2
POSTS..... SYP STRUCT. GRADE NO. 2
PLATE STOCK..... SYP STRUCT. GRADE NO. 2
GLULAM ..... SYP (SEE GRADE BELOW)

B. GRADES SHALL BE DETERMINED IN ACCORDANCE WITH SPIB GRADING RULES AGENCY OR OTHER ACCREDITATION BODY COMPLYING WITH DOC PS 20.

C. STRUCTURAL GLUED LAMINATED TIMBER OF SOFTWOOD SPECIES SHALL BE IN CONFORMANCE WITH ANSI STANDARD A190.1, AMERICAN NATIONAL STANDARD FOR STRUCTURAL GLUED LAMINATED TIMBER, OR OTHER CODE-APPROVED DESIGN, MANUFACTURING AND/OR QUALITY ASSURANCE PROCEDURES.

D. END-JOINTED STUDS ARE PERMITTED TO BE USED INTERCHANGEABLY WITH SOLID-SAWN STUDS OF THE SAME SPECIES AND GRADE SPECIFIED. All END-JOINTED STUDS SHALL HAVE THE DESIGNATION "HEAT RESISTANT ADHESIVE " OR "HRA" INCLUDED IN IT'S GRADE MARK. END-JOINTED STUDS SHALL ONLY BE USED AS VERTICAL MEMBERS IN STUD WALLS.

E. USE PRESERVATIVE TREATED WOOD FOR ALL EXPOSED LUMBER OR LUMBER IN CONTACT WITH CONCRETE OR MASONRY.

F. WOOD MEMBERS, INCLUDING WOOD SHEATHING, WHICH REST ON EXTERIOR FDN WALLS OR SLABS & ARE LESS THAN 8" FROM EXPOSED EARTH SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD.

G. EXPOSED GLULAM BEAMS SHALL BE PRESERVATIVE TREATED AFTER MANUFACTURE IN ACCORDANCE WITH AMERICAN WOOD-PRESERVERS' ASSOCIATION (AWPA) STANDARD U1 WITH PRESERVATIVES AS REQUIRED FOR ABOVE GROUND EXPOSURE.

H. ALL EXPOSED, PRESERVATIVE TREATED LUMBER SHALL HAVE FIELD-CUT ENDS, NOTCHES, AND DRILLED HOLES TREATED IN THE FIELD IN ACCORDANCE WITH AWPA M4.

I. INSTALL BEAMS WITH CROWN UP.

J. ALL ENGINEERED LUMBER SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES (UNO):

MEMBER	F'_b (PSI)	E (KSI)	COMMON NAME
LVL	2900	2000	N/A
LSL	1700	1300	N/A
PSL	2900	2000	N/A
GLULAM	2600	2000	26F-V2

K. HANDRAILS, GUARDRAILS AND STAIRWAYS INCLUDING ALL COMPONENTS AND THEIR CONNECTIONS SHALL BE DESIGNED BY THE SUPPLIER IN ACCORDANCE WITH THE LOCAL BUILDING CODE.

L. ALL MECHANICAL, PLUMBING, AND FINISHINGS SHALL ACCOMMODATE THE ESTIMATED SHRINKAGE/ EXPANSION VALUES INDICATED BELOW.

LEVEL	WOOD SHRINKAGE PER LEVEL	CUMULATIVE WOOD SHRINKAGE	BRICK EXPANSION PER LEVEL	CUMULATIVE BRICK EXPANSION	TOTAL DIFFERENTIAL SHRINKAGE (EXT W/ BRICK)
BASEMENT	-1/8"	-1/8"	1/16"	1/16"	3/16"
1ST LEVEL	-3/16"	-5/16"	1/16"	-1/8"	7/16"
2ND LEVEL	-3/16"	-1/2"	1/16"	-3/16"	11/16"

NOTES:
1. BRICK EXPANSION/LEVEL ASSUMES BRICK RUNS THE ENTIRE STORY HEIGHT
2. INSTALLERS & DESIGNERS MUST CALCULATE THE EXPANSION REQUIREMENTS AT GIVEN LOCATION IN BUILDING BY SUMMING STORY CUMULATIVE WOOD SHRINKAGE W/ CUMULATIVE BRICK EXPANSION AS REQUIRED.

8. WOOD SHEATHING

A. ROOF DECK AND SUBFLOORS ARE DESIGNED AS UNBLOCKED DIAPHRAGMS UNO.

1. ROOF SHEATHING SHALL BE AS FOLLOWS:

   a. RAFTER SPACING <= 24" OC: 7/16" THICK EXPOSURE 1 RATED WOOD SHEATHING WITH A PANEL SPAN INDEX (U.S.) NOT LESS THAN 24/16 AND BEARING THE TRADEMARK STAMP OF APA THE ENGINEERED WOOD ASSOCIATION, OR OTHER APPROVED AGENCY. PANELS SHALL BE FASTENED WITH 8d NAILS @ 6" OC AT ALL PANEL EDGES AND 12" OC AT ALL INTERIOR SUPPORTS UNLESS NOTED OTHERWISE ON PLAN.

   b. RAFTER SPACING >24" & <= 36" OC: 1-1/2" TONGUE & GROOVE LUMBER WITH MINIMUM F_b = 270 AND E = 340,000. LUMBER SHALL BE FASTENED WITH (3) 16d NAILS AT ALL SUPPORTS UNLESS NOTED OTHERWISE ON PLAN.

   c. ALL EXPOSED ROOF SHEATHING SHALL BE CDX OR CCX GRADE PLYWOOD UNLESS SPECIFICALLY DETAILED BY THE ARCHITECT.

2. FLOOR SHEATHING SHALL BE 23/32" THICK T & G, EXPOSURE 1 RATED WOOD SHEATHING WITH A PANEL SPAN INDEX (U.S.) NOT LESS THAN 48/24 AND BEARING THE TRADEMARK STAMP OF APA THE ENGINEERED WOOD ASSOCIATION, OR OTHER APPROVED AGENCY. PANELS SHALL BE NAILED WITH 10d NAILS @ 6" OC AT ALL PANEL EDGES AND 12" OC AT ALL INTERIOR SUPPORTS UNLESS NOTED OTHERWISE ON PLAN.

B. BRACING WALL SYSTEMS ARE AS FOLLOWS:

1. INTERIOR BRACING WALLS SHALL BE COMPRISED OF THE FOLLOWING:

   a. 7/16" THICK EXPOSURE 1 RATED WOOD SHEATHING WITH A PANEL SPAN INDEX (U.S.) RATING NOT LESS THAN 24/16 AND BEARING THE TRADEMARK STAMP OF APA THE ENGINEERED WOOD ASSOCIATION, OR OTHER APPROVED AGENCY. PANELS SHALL BE NAILED IN ACCORDANCE WITH THE BRACING WALL SCHEDULE ON THE S4 SERIES DRAWINGS.

   b. GYPSUM WALLBOARD PANELS WHERE INDICATED ON WALL FRAMING PLAN. SEE WALL FRAMING PLANS AND S4 SERIES DRAWINGS FOR TYPE, THICKNESS, AND FASTENER INFO.

2. EXTERIOR BRACING WALLS ARE COMPRISED OF 7/16" THICK EXPOSURE 1 RATED WOOD SHEATHING WITH A PANEL SPAN INDEX (U.S.) RATING NOT LESS THAN 24/16 AND BEARING THE TRADEMARK STAMP OF APA THE ENGINEERED WOOD ASSOCIATION, OR OTHER APPROVED AGENCY. PANELS SHALL BE NAILED IN ACCORDANCE WITH THE BRACING WALL SCHEDULE ON THE S4 SERIES DRAWINGS.

C. REFER TO FOUNDATION AND WALL FRAMING PLANS FOR TYPE AND LOCATION OF ALL BRACING WALLS AND HOLD DOWN ANCHORAGE. REFER TO S4 SERIES DRAWINGS FOR BRACING SCHEDULES AND FASTENER REQUIREMENTS.

D. FRAMING DETAILS INCORPORATE MINIMUM REQUIREMENTS FOR LATERAL LOAD TRANSFER. ANY CHANGE, MODIFICATION, OR SUBSTITUTION OF MATERIALS (INCLUDING GRADE OR SPECIES) OR FASTENERS MUST BE APPROVED BY THE ENGINEER OF RECORD PRIOR TO INSTALLATION.

E. TEMPORARY BRACING OF THE BLDGS AND STUD WALLS IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND MUST REMAIN IN PLACE UNTIL ALL FRAMING DETAILS, ROOF AND FLOOR SHEATHING AND BRACING WALL CONSTRUCTION IS COMPLETE.

F. TEMPORARY STACKING OF WOOD SHEATHING ON ELEVATED WOOD FLOOR FRAMING SHALL BE LIMITED TO FIFTEEN 3/4" THICK 4' WIDE SHEETS LAID FLAT OR 8 SHEETS ON EDGE W/ THE LONG DIMENSION PERPENDICULAR TO JOIST OR TRUSS SPAN. NO JOIST OR TRUSS SHALL SUPPORT MORE THAN ONE STACK OF SHEATHING ALONG ITS SPAN LENGTH.

G. TEMPORARY STACKING OF GYPSUM SHEATHING ON ELEVATED WOOD FLOOR FRAMING SHALL BE LIMITED TO EIGHTEEN 5/8" THICK 4' WIDE SHEETS LAID FLAT OR TEN SHEETS ON EDGE W/ LONG DIMENSION PERPENDICULAR TO JOIST OR TRUSS SPAN. NO JOIST OR TRUSS SHALL SUPPORT MORE THAN ONE STACK OF SHEATHING ALONG ITS SPAN LENGTH.

9. WOOD FASTENERS & HARDWARE

A. UNLESS SPECIFIED OTHERWISE, SCREWS SHALL BE EMBEDDED IN THE APPROPRIATE SUBSTRATE WITH A MINIMUM EMBEDMENT OF 10 TIMES THE SHANK DIAMETER OR THE EMBEDMENT REQUIRED TO SUPPORT THE INTENDED LOAD.

B. WHERE MINIMUM EMBEDMENT DEPTHS ARE NOTED, SCREWS SHALL PROVIDE AN EMBEDMENT INTO THE MAIN MEMBER EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED.

C. SUBSTITUTION REQUESTS, FOR PRODUCTS OTHER THAN THOSE LISTED BELOW, SHALL BE SUBMITTED TO THE ENGINEER WITH CALCULATIONS THAT ARE PREPARED & SEALED BY A REGISTERED PROFESSIONAL ENGINEER SHOWING THAT THE SUBSTITUTED PRODUCT WILL ACHIEVE AN EQUIVALENT CAPACITY USING THE APPROPRIATE DESIGN PROCEDURE REQUIRED BY THE BUILDING CODE.

D. AS A MINIMUM, ALL HARDWARE EXPOSED TO WEATHER SHALL HAVE A G185 (SIMPSON ZMAX OR EQUIVALENT) GALVANIZED FINISH.

E. FASTENERS AT PRESERVATIVE TREATED LUMBER

1. THE FOLLOWING CHART SHALL BE USED IN DETERMINING FINISHES FOR HARDWARE IN CONTACT W/ PRESERVATIVE TREATED WOOD:

MEMBER \ TREATMENT TYPE	SBX (DOT)	ACQ-C ACQ-D	CBA-A CA-B
G90	X	–	–
G185	X	X	X
POST HOT DIP GALVANIZED	X	X	X
STAINLESS STL (TYPES 304 & 316)	X	X	X

2. FOR WOOD WITH ACTUAL RETENTION LEVELS GREATER THAN 0.40 PCF FOR ACQ, 0.41 PCF FOR CBA-A OR 0.21 FOR CA-B, STAINLESS STEEL CONNECTORS AND FASTENERS ARE RECOMMENDED. VERIFY ACTUAL RETENTION LEVEL WITH THE WOOD SUPPLIER/TREATER. WHEN USING STAINLESS STL CONNECTORS, USE STAINLESS STL FASTENERS. WHEN USING GALVANIZED CONNECTORS, USE GALVANIZED FASTENERS.

3. ALL FASTENERS IN CONTACT W/ PRESSURE TREATED LUMBER SHALL BE BATCH/POST HOT-DIP GALVANIZED (PER ASTM A153) OR MECHANICALLY GALVANIZED (PER ASTM B695, CLASS 55 OR GREATER).

4. EXCEPTION: BOLTS & LAG SCREWS W/ SHANK DIAMETERS GREATER THAN 1/2" IN DIAMETER AND PROTECTED FROM THE WEATHER ARE NOT REQUIRED TO BE GALVANIZED.

F. ACCEPTABLE PRODUCTS

1. SIMPSON STRONG-TIE:
   a. "SDS WOOD SCREWS" (HEAVY DUTY ALL PURPOSE FASTENER)
   b. "SDW EWP-PLY SCREWS"

2. FASTENMASTER:
   a. "LEDGERLOK" (CORROSION RESISTANT FASTENER)
   b. "TIMBERLOK" (HEAVY DUTY ALL PURPOSE FASTENER)
   c. "TRUSSLOK" (MULTI-PLY ENGINEERED WOOD FASTENER)

G. COMMON NAIL SIZES ARE AS FOLLOWS:

TYPE		PENNYWEIGHT					
		6d	8d	10d	12d	16d	20d
COMMON	LENGTH	2"	2-1/2"	3"	3-1/4"	3-1/2"	4"
	DIA. (SHANK)	0.113"	0.131"	0.148"	0.148"	0.162"	0.192"
	BENDING YIELD STRENGTH (KSI)	100	100	90	90	90	80
BOX	LENGTH	2"	2-1/2"	3"	3-1/4"	3-1/2"	4"
	DIA. (SHANK)	0.099"	0.113"	0.128"	0.128"	0.135"	0.148"
	BENDING YIELD STRENGTH (KSI)	100	100	100	100	100	90

10. POST-INSTALLED ANCHORS

A. POST-INSTALLED ANCHORS SHALL ONLY BE USED WHERE SPECIFIED ON THE DRAWINGS.

B. CONTRACTOR SHALL OBTAIN APPROVAL FROM ENGINEER OF RECORD PRIOR TO USING POST-INSTALLED ANCHORS FOR MISSING OR MISPLACED CAST-IN-PLACE ANCHORS.

C. CARE SHALL BE GIVEN TO AVOID CONFLICTS WITH EXISTING REBAR. HOLES SHALL BE DRILLED AND CLEANED PER THE MANUFACTURER'S INSTRUCTIONS. ANCHORS SHALL BE INSTALLED PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AT NOT LESS THAN MINIMUM EDGE DISTANCES AND/OR SPACING INDICATED IN THE MANUFACTURER'S LITERATURE.

D. UNLESS SPECIFIED OTHERWISE, ANCHORS SHALL BE EMBEDDED IN THE APPROPRIATE SUBSTRATE WITH A MINIMUM EMBEDMENT OF 8 TIMES THE NOMINAL ANCHOR DIAMETER OR THE EMBEDMENT REQUIRED TO SUPPORT THE INTENDED LOAD.

E. SUBSTITUTION REQUESTS, FOR PRODUCTS OTHER THAN THOSE LISTED BELOW, SHALL BE SUBMITTED TO THE ENGINEER WITH CALCULATIONS THAT ARE PREPARED & SEALED BY A REGISTERED PROFESSIONAL ENGINEER SHOWING THAT THE SUBSTITUTED PRODUCT WILL ACHIEVE AN EQUIVALENT CAPACITY USING THE APPROPRIATE DESIGN PROCEDURE REQUIRED BY THE BUILDING CODE.

F. ACCEPTABLE PRODUCTS

1. EXPANSION ANCHORS:
   a. "STRONG-BOLT 2" BY SIMPSON STRONG-TIE
   b. "KWIK BOLT TZ" BY HILTI
   c. "POWER-STUD+ SD1" BY DEWALT

2. ADHESIVE ANCHORS:
   a. FOR CONCRETE APPLICATIONS:
      1. "SET-XP EPOXY" W/ "IXP ANCHOR" RODS BY SIMPSON STRONG-TIE
      2. "HIT HY 200" W/ STANDARD HAS ANCHOR RODS BY HILTI
      3. "PURE110+" WITH THREADED RODS BY DEWALT (STANDARD CURE)
      4. "AC200+" WITH THREADED RODS BY DEWALT (RAPID CURE)
   b. FOR MASONRY APPLICATIONS
      1. "HIT HY 70" W/ STANDARD HAS ANCHOR RODS BY HILTI

3. SCREW ANCHORS:
   1. "TITEN HD" BY SIMPSON STRONG-TIE
   2. "SCREW BOLT+" BY DEWALT

11. STAIRS, HAND RAILS, GUARD RAILS & GRAB BARS

A. SEE ARCH DWGS FOR STAIR CONFIGURATION AND CONSTRUCTION TYPE.

B. UNLESS SPECIFICALLY DETAILED ON THE STRUCTURAL DRAWINGS, ALL STAIRS, LANDINGS, LANDING POSTS, GUARD RAILS, HAND RAILS AND THEIR CONNECTIONS TO THE SUPPORTING STRUCTURE SHALL BE DESIGNED BY THE CONTRACTOR/STAIR SUPPLIER/FABRICATOR TO SUPPORT THE DESIGN LOADS PRESCRIBED IN THE GOVERNING BUILDING CODE AND AS NOTED BELOW.

C. GUARD RAIL INFORMATION INDICATED ON ARCHITECTURAL SECTIONS, DETAILS AND/OR BUILDING ELEVATIONS SHALL REPRESENT MINIMUM ARCHITECTURAL REQUIREMENTS. THE SUPPLIER SHALL PROVIDE LARGER MEMBERS AND/OR CLOSER MEMBER SPACING WHERE REQUIRED BY HIS/HER STRUCTURAL DESIGN OF THE GUARD RAIL SYSTEM. THE CONTRACTOR'S ORIGINAL BID PRICE SHALL ANTICIPATE ALL FINAL GUARDRAIL COSTS AND CONDITIONS. THE SUBMITTAL AND CONSTRUCTION OF MEMBER SIZES THAT ARE LARGER THAN THOSE INDICATED ON THE ARCHITECTURAL DRAWINGS SHALL NOT BE AN ACCEPTABLE BASIS FOR AN ADDITIVE CHANGE ORDER FROM THE CONTRACTOR. THE SUBMITTAL AND CONSTRUCTION OF MEMBER SPACING THAT IS CLOSER THAN THAT INDICATED ON THE ARCHITECTURAL DRAWINGS SHALL NOT BE AN ACCEPTABLE BASIS FOR AN ADDITIVE CHANGE ORDER FROM THE CONTRACTOR.

D. GUARD RAIL TO SUPPORTING STRUCTURE CONNECTION DETAILS SHOWN ON THE STRUCTURAL DRAWINGS ARE SCHEMATIC IN NATURE AND ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

E. HANDRAIL ASSEMBLIES AND GUARDS SHALL BE DESIGNED TO RESIST A LOAD OF 50 PLF APPLIED IN ANY DIRECTION AT THE TOP AND TO TRANSFER THIS LOAD THROUGH THE SUPPORTS TO THE STRUCTURE.

F. HANDRAIL ASSEMBLIES AND GUARDS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 LBS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP, AND SHALL HAVE ATTACHMENT DEVICES AND SUPPORTING STRUCTURE TO TRANSFER THIS LOADING TO APPROPRIATE STRUCTURAL ELEMENTS OF THE BUILDING. THIS LOAD NEED NOT BE ASSUMED TO ACT CONCURRENTLY WITH THE LOADS SPECIFIED IN THE PRECEDING NOTE.

G. INTERMEDIATE RAILS (ALL THOSE EXCEPT THE HANDRAIL), BALUSTERS AND PANEL FILLERS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 LBS ON AN AREA EQUAL TO 1 SQUARE FOOT, INCLUDING OPENINGS AND SPACE BETWEEN RAILS. REACTIONS DUE TO THIS LOADING ARE NOT REQUIRED TO BE SUPERIMPOSED WITH REACTIONS DUE TO LOADS SPECIFIED IN THE PRECEDING NOTES.

H. GRAB BARS SHALL BE DESIGNED TO RESIST A SINGLE CONCENTRATED LOAD OF 250 LBS APPLIED IN ANY DIRECTION AT ANY POINT.

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November 14, 2025

Issuances

No.	Description	Date
	Issued for Permit	11/14/25

Issued for Construction

GENERAL NOTES

Project number	25-060
Date	10/15/2025
Drawn by	MRF
Checked by	MRF

S002

12. MASONRY

A. MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS (F'm) SHALL BE 1500 PSI.

B. MATERIAL SHALL BE AS FOLLOWS: - CMU.....NORMAL WEIGHT, ASTM C-90 (UNIT STRENGTH = 1900 PSI) - MORTAR.....TYPE "S" FOR WALLS NOT IN CONTACT WITH EARTH, TYPE "M" FOR WALLS IN CONTACT WITH EARTH.

C. GROUT FOR CONCRETE MASONRY WALL SHALL CONFORM TO ASTM C476. A MIN f'c = 3,000 PSI GROUT SHALL BE CONSOLIDATED BY THOROUGHLY RODDING ALL CELLS.

D. ROUT PLACEMENT SHALL BE LOW-LIFT. THE CONSTRUCTION JOINTS ARE CREATED BY THE LEVEL OF GROUT STOPPING 1-1/2" FROM TOP OF MASONRY AND THE STEEL REINFORCING PROJECTING ABOVE THE TOP COURSE FOR A SUFFICIENT HEIGHT TO PROVIDE A LAP AT THE SPLICE. SEE S6 SERIES FOR LAP SPLICE LENGTH. THE CONSTRUCTION JOINT SHALL BE LOCATED 3'-0" MINIMUM FROM TOP AND BOTTOM OF STRUCTURAL ELEMENTS SUCH AS SLABS, ROOFS,ETC.

E. ALL CMU SHALL BE PLACED IN RUNNING BOND.

F. CONCRETE MASONRY WALLS SHALL BE TEMPORARILY BRACED DURING ERECTION. REMOVE TEMPORARY BRACING ONLY AFTER WALLS ARE CONNECTED TO SUPPORTING ELEMENTS.

G. EXCEPT FOR BASEMENT WALLS, ALL CONCRETE BLOCK BELOW GRADE SHALL HAVE ALL CELLS FILLED WITH GROUT.

H. ALL CELLS CONTAINING REINFORCEMENT SHALL BE GROUTED SOLID.

I. MAXIMUM CONTROL JOINT SPACING IN MASONRY WALL = 25'-0" UNLESS NOTED. SEE ARCHITECTURAL DRAWINGS FOR LOCATION.

J. UNLESS SPECIFICALLY NOTED OTHERWISE, ALL CMU WALLS SHALL BE REINFORCED AS FOLLOWS:

1. #5 VERTICALS @ 48" ON-CENTER CENTERED IN CELL
2. CONTINUOUS 16" DEEP BOND BEAM REINFORCEMENT W/2-#5 CONT AT ALL FLOOR LEVELS, INTERMEDIATE STAIR LANDINGS, TOP OF WALL AND SLAB ON GRADE ELEVATIONS.
3. CONTINUOUS 9 GA. LADDER TYPE HORIZONTAL JOINT REINFORCEMENT AT 16" OC VERTICALLY WITH MIN 5/8" CLEAR TO OUTER FACE.

K. SEE ARCHITECTURAL DRAWINGS FOR ALL CMU. WALL OPENING SIZES AND LOCATIONS.

L. CMU GROUT FILL SHALL ARRIVE AT THE JOB SITE WITH A SLUMP BETWEEN 3" TO 5". PRIOR TO DEPOSITING GROUT, SUPERPLASTICIZER SHALL BE ADDED TO THE GROUT AT THE JOB SITE INCREASING THE SLUMP TO 9" TO 11".

M. PROVIDE CORNER BARS AT ALL BOND BEAMS TO ENSURE CONTINUITY AT CORNERS. LAP CORNER BARS 48 BAR DIAMETERS WITH BOND BEAM BARS.

N. PROVIDE BAR SUPPORTS AND POSITIONERS AS REQUIRED TO ENSURE THAT FINAL IN-PLACE LOCATION OF REINFORCING IS AS INDICATED ON THE DRAWINGS.

O. MASONRY SHALL BE PROTECTED FROM FREEZING DURING PLACEMENT & CURING. COLD WEATHER MASONRY PROCEDURES SHALL COMPLY W/ TMS 402.

P. THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL BRACING AND SHORING FOR ALL MASONRY WALLS AS REQUIRED TO ENSURE STABILITY DURING CONSTRUCTION.

Q. MASONRY VENEER SHALL BE ANCHORED TO WOOD STUDS W/ ADJUSTABLE WIRE ANCHORS (WIRE SIZE W1.7) THAT WILL PERMIT A MINIMUM OF 1/2" OF VERTICAL MOVEMENT (UP & DOWN) AFTER INSTALLATION. ANCHORS SHALL BE SPACED A MAXIMUM OF 32" OC HORIZONTAL AND 12" OC VERTICAL AND WITHIN 12" OF ALL WALL OPENINGS. ANCHORS SHALL BE FASTENED W/ CORROSION RESISTANT NAILS.

STEEL LINTEL SCHEDULE

MAXIMUM CLEAR SPAN	LINTEL SIZE	COMMENTS
3'-6"	L5x3-1/2x5/16	MAX HEIGHT OF SUPPORTED BRICK = 6'-0"
6'-6"	L5x5x7/16	MAX HEIGHT OF SUPPORTED BRICK = 6'-0"
10'-0"	L5x5x1/2	MAX HEIGHT OF SUPPORTED BRICK = 3'-3"
10'-0"	L5x5x7/8	MAX HEIGHT OF SUPPORTED BRICK = 9'-0"
11'-0"	L5x5x5/8	MAX HEIGHT OF SUPPORTED BRICK = 3'-3"

NOTES:
1. PROVIDE 6" MIN BEARING EACH END OF STEEL LINTEL.
2. PROVIDE ROLLED STEEL ANGLE LINTELS @ ALL ARCHES.

13. TYPICAL FASTENING SCHEDULE U.N.O.

DESCRIPTION OF BUILDILNG ELEMENTS	NUMBER & TYPE OF FASTENER [1]	SPACING AND LOCATION
ROOF		
BLOCKING BETWEEN CEILING JOISTS, RAFTERS OR TRUSSES TO TOP PLATE OR OTHER FRAMING BELOW	3-8d COMMON 3-10d BOX 3-3" x 0.131" NAILS	EACH END, TOENAIL
BLOCKING BETWEEN RAFTERS OR TRUSS NOT AT THE WALL TOP PLATE, TO RAFTER OR TRUSS	3-8d COMMON 2-3" x 0.131" NAILS	EACH END, TOENAIL
	2-16d COMMON 3-3" x 0.131" NAILS	END NAIL
FLAT BLOCKING TO TRUSS AND WEB FILLER	16d COMMON 3-3" x 0.131" NAILS	FACE NAIL, @ 6" o.c.
CEILING JOISTS TO TOP PLATE	3-8d COMMON 3-10d BOX 3-3" x 0.131" NAILS	EACH JOIST, TOENAIL
CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTIONS (NO THRUST) (SEE IBC SECTION 2308.7.3.1, TABLE 2308.7.3.1)	3-16d COMMON 4-10d BOX 4-3" x 0.131" NAILS	FACE NAIL
CEILING JOIST ATTACHED TO PARALLEL RAFTER (HEEL JOINT) (SEE IBC SECTION 2308.7.3.1, TABLE 2308.7.3.1)	PER TABLE 2308.7.3.1	FACE NAIL
COLLAR TIE TO RAFTER	3-10d COMMON 4-10d BOX 4-3" x 0.131" NAILS	FACE NAIL
RAFTERS TO TOP PLATE (SEE IBC SECTION 2308.7.5, TABLE 2308.7.5)	3-10d COMMON 3-16d BOX 4-10d BOX 4-3" x 0.131" NAILS	TOENAIL
ROOF RAFTERS TO RIDGE VALLEY OR HIP RAFTERS; OR ROOF RAFTER TO RIDGE BEAM	2-16d COMMON 3-10d BOX 3-3" x 0.131" NAILS	END NAIL
	3-10d COMMON 4-16d BOX 4-10d BOX 4-3" x 0.131" NAILS	TOENAIL

DESCRIPTION OF BUILDILNG ELEMENTS	NUMBER & TYPE OF FASTENER [1]	SPACING AND LOCATION
WALL		
STUD TO STUD (NOT AT BRACED WALL PANELS) [5]	16d COMMON	16" o.c. FACE NAIL
	10d BOX 3" x 0.131" NAILS	12" o.c. FACE NAIL
STUD TO STUD AND ABUTTING STUDS AT INTERSECTING WALL CORNERS (AT BRACED WALL PANELS[5]	16d COMMON	6" o.c. FACE NAIL
	16d BOX 3" x 0.131" NAILS	6" o.c. FACE NAIL
BUILT-UP SOLID SAWN HEADERS [4]	16d COMMON	16" o.c. EACH EDGE, FACE NAIL
	16d BOX	12" o.c. EACH EDGE, FACE NAIL
CONTINUOUS HEADER TO STUD	4-10d COMMON 4-10d BOX	TOENAIL
TOP PLATE TO TOP PLATE	16d COMMON	16" o.c. FACE NAIL
	10d BOX 3" x 0.131" NAILS	12" o.c. FACE NAIL
TOP PLATE, LAPS AT CORNERS AND INTERSECTIONS	2-16d COMMON 3-10d BOX 3-3" x 0.131" NAILS	FACE NAIL
TOP PLATE SPLICE @ NON-SHEAR WALL	8-16d COMMON 12-10d BOX 12-3" x 0.131" NAILS	EACH SIDE OF END JOINT, FACE NAIL (MINIMUM 24" LAP SPLICE LENGTH EACH SIDE OF END JOINT)
TOP PLATE SPLICE @ BRACING WALL (UNIFORM WALL THICKNESS)		
TOP PLATE SPLICE @ BRACING WALL (2x4/2x6 TRANSITION @ SINGLE INTERIOR/NON-DEMISING)		
BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACING WALL PANELS)		16" o.c. FACE NAIL
	16d BOX 3" x 0.131" NAILS	12" o.c. FACE NAIL
BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING AT BRACING WALL PANELS		
STUD TO TOP OR BOTTOM PLATE (2x4 WALL)	2-10d BOX 2-3" x 0.131" NAILS	TOENAIL
	2-16d COMMON 2-10d BOX 2-3" x 0.131" NAILS	END NAIL
STUD TO TOP OR BOTTOM PLATE (2x6 WALL)	3-10d BOX 3-3" x 0.131" NAILS	TOENAIL
	2-16d COMMON 3-10d BOX 3-3" x 0.131" NAILS	END NAIL
STUD TO TOP OR BOTTOM PLATE (2x8 WALL)	4-10d BOX 4-3" x 0.131" NAILS	TOENAIL
	4-16d COMMON 5-10d BOX 5-3" x 0.131" NAILS	END NAIL
TOP PLATE, LAPS AT CORNERS AND INTERSECTIONS	2-16d COMMON 3-10d BOX 3-3" x 0.131" NAILS	FACE NAIL

DESCRIPTION OF BUILDILNG ELEMENTS	NUMBER & TYPE OF FASTENER [1]	SPACING AND LOCATION
FLOOR		
JOIST TO SILL, TOP PLATE, OR GIRDER	3-8d COMMON 3-10d BOX 3-3" x 0.131" NAILS	TOENAIL
RIM JOIST, BAND JOIST, OR BLOCKING TO TOP PLATE, SILL OR OTHER FRAMING BELOW	8d COMMON 10d BOX 3" x 0.131" NAILS	6" o.c. TOENAIL
1" x 6" SUBFLOOR OR LESS TO EACH JOIST	2-8d COMMON 2-10d BOX	FACE NAIL
2" SUBFLOOR TO JOIST OR GIRDER	2-16d COMMON	FACE NAIL
2" PLANKS (PLANK & BEAM - FLOOR & ROOF)	2-16d COMMON	EACH BEARING, FACE NAIL
BUILT-UP SOLID SAWN GIRDERS AND BEAMS [4]	20d COMMON	32" o.c. FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES
	10d BOX 3" x 0.131" NAILS	24" o.c. FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES
	2-20d COMMON 3-10d BOX 3-3" x 0.131" NAILS	ENDS AND AT EACH SPLICE, FACE NAIL
LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	3-16d COMMON 4-10d BOX 4-3" x 0.131" NAILS	EACH JOIST OR RAFTER, FACE NAIL
JOIST TO BAND JOIST OR RIM JOIST	3-16d COMMON 4-10d BOX 4-3" x 0.131" NAILS	END NAIL
BRIDGING OR BLOCKING TO JOIST, RAFTER OR TRUSS	2-8d COMMON 2-10d BOX 2-3" x 0.131" NAILS	EACH END, TOENAIL

DESCRIPTION OF BUILDILNG ELEMENTS	NUMBER & TYPE OF FASTENER [1]	SPACING AND LOCATION	
WOOD STRUCTURAL PANELS AT NON-SHEAR WALL CONIDTIONS, SUBFLOOR, AND ROOF			
		EDGES (INCHES)	INTERMEDIATE SUPPORTS (INCHES)
3/8" - 1/2" WOOD STRUCTURAL PANELS AT NON-BRACING WALL CONDITIONS[3]	6d COMMON OR DEFORMED (SUBFLOOR AND WALL)	6	12
	8d COMMON OR DEFORMED (ROOF) OR RSRS-01 (2 3/8" x 0.113") NAIL (ROOF)	6	12
	2 3/8" x 0.113" NAIL (SUBFLOOR AND WALL)	6	12
	2 3/8" x 0.113" NAIL (ROOF)	4	8
19/32" - 3/4" WOOD STRUCTURAL PANELS AT NON-BRACING WALL CONDITIONS[3]	8d COMMON 6d DEFORMED (2" x 0.113") (SUBFLOOR AND WALL)	6	12
	8d COMMON OR DEFORMED (ROOF) OR RSRS-01 (2 3/8" x 0.113") NAIL (ROOF)	6	12
	2 3/8" x 0.113" NAIL (ROOF)	4	8
7/8" - 1 1/4" WOOD STRUCTURAL PANELS AT NON-BRACING WALL CONDITIONS[3]	10d COMMON 8d DEFORMED (2 1/2" x 0.131")	6	12
ROOF SHEATHING	SEE GENERAL NOTES 8.A.1		
FLOOR SHEATHING	SEE GENERAL NOTES 8.A.2		
NON-STRUCTURAL PANEL SIDING TO FRAMING			
1/2" OR LESS	6d CORROSION-RESISTANT SIDING (1 7/8" x 0.106") 6d CORROSION-RESISTANT CASING (2" x 0.099")	6	12
5/8"	8d CORROSION-RESISTANT SIDING (23/8" x 0.128") 8d CORROSION-RESISTANT CASING (2 1/2" x 0.113")	6	12

FOOTNOTES:
1. COMMON OR BOX NAILS ARE PERMITTED TO BE USED EXCEPT WHERE OTHERWISE STATED.
2. SEE GENERAL NOTES 12 FOR ADDITIONAL INFORMATION ON WOOD FASTENERS.
3. SEE 1/S401 FOR ADDITIONAL INFORMATION REGARDING WOOD BRACING WALL FASTENING.
4. SEE SHEET 2/S402 BEAM/HEADER SCHEDULE NOTES FOR LVL BEAM FASTENING PATTERNS AND INFORMATION.
5. SEE SHEET 2/S402 BUILT UP COLUMN NOTES FOR BUILT UP COLUMN FASTENING PATTERNS AND INFORMATION.

14. SECTION NOT USED

- / ---

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15. TYPICAL ABBREVIATIONS

ADD'L, ADD	ADDITIONAL
AB, ABOLT	ANCHOR BOLT
ARCH	ARCHITECTURAL
@	AT
BM	BEAM
BRG	BEARING
BLK	BLOCK
BLKNG	BLOCKING
BOTT, B	BOTTOM, BOTTOM BAR
BLDG	BUILDING
BTWN	BETWEEN
CANT	CANTILEVER
CG	CENTER OF GRAVITY
CL, CLR	CLEAR
COL	COLUMN
CONC	CONCRETE
COND	CONDITION
CONN	CONNECTION
CMU	CONCRETE MASONRY UNIT
CONST	CONSTRUCTION
CONT	CONTINUOUS
CONTR	CONTRACTOR
DB	DROP BEAM
DET, DT'L	DETAIL
DIA	DIAMETER
DIAG	DIAGRAM
DIM	DIMENSION
DSN	DESIGN
DWG	DRAWING
DWL	DOWEL
EA	EACH
EF	EACH FACE
ELEV, EL	ELEVATION
EMBED	EMBEDMENT
EOS	EDGE OF SLAB
EQ	EQUAL
ETC	ET CETERA
EW	EACH WAY
EXIST	EXISTING
EXP	EXPANSION
EJ	EXPANSION JOINT
EXT	EXTERIOR
F/	FACE OF
F/WALL	FACE OF WALL
FB	FLUSH BEAM
FIN FL	FINISHED FLOOR
FFE	FINISHED FLOOR ELEVATION
FL, FLR	FLOOR
FRT	FIRE RETARDANT TREATED
FRG	FRAMING
FTG	FOOTING
FT	FEET, FOOT
FLG	FLANGE
GA	GAGE, GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
HD	HEAD
HDR	HEADER
HGT	HEIGHT
HI	HIGH
HK	HOOK
HORIZ	HORIZONTAL
HR	HOUR
INFO	INFORMATION
INT	INTERIOR
JG	JOIST GIRDER
JST	JOIST
JT	JOINT
K-FT	KIP-FEET
K/FT	KIPS PER FOOT
K	KIPS
L	ANGLE
LG	LONG
LLO	LONG LEG OUT
LLV	LONG LEG VERTICAL
LO	LOW
LOC'N	LOCATION
MFG, MFR	MANUFACTURER
MFG'R	MANUFACTURER
MECH	MECHANICAL
MPH	MILES PER HOUR
MAT'L	MATERIAL
MAX	MAXIMUM
MIN	MINIMUM
MISC	MISCELLANEOUS
NA	NEUTRAL AXIS
NIC	NOT IN CONTRACT
NOM	NOMINAL
No.	NUMBER
NTS	NOT TO SCALE
OC	ON CENTER
OPNG	OPENING
OH	OPPOSITE HAND
PAF	POWDER ACTUATED FASTENER
PL, PLT	PLATE
PSF	POUNDS PER SQ. FOOT
PSI	POUNDS PER SQ. INCH
PT	POST TENSIONED
PTL	PRESERVATIVE TREATED LUMBER
PTS	POINTS
REF	REFERENCE
RET	RETAINING
REV	REVISION
REINF	REINFORCING
REQ'D	REQUIRED
REQ'S	REQUIREMENTS
REBAR	REINFORCING BAR
SCHED	SCHEDULE
SECT	SECTION
SLV	SHORT LEG VERTICAL
SLO	SHORT LEG OUT
SIM	SIMILAR
SOG	SLAB ON GRADE
SPECS	SPECIFICATIONS
STD	STANDARD
STIRR	STIRRUPS
STL	STEEL
ST STL	STAINLESS STEEL
STRUCT	STRUCTURAL
TBR	TO BE REMOVED
THK	THICK
THRD	THREADED
THRU	THROUGH
T&B	TOP AND BOTTOM
T/	TOP OF
T/BM	TOP OF BEAM
T/CONC	TOP OF CONCRETE
T/FTG, TOF	TOP OF FOOTING
T/SLAB	TOP OF SLAB
T/STL	TOP OF STEEL
T/WALL, TOW	TOP OF WALL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
V	SHEAR
VERT	VERTICAL
W	WIDE
W/	WITH
W/O	WITHOUT
WD	WOOD
WP	WORKING POINT
WT, WGT	WEIGHT
WWF	WELDED WIRE FABRIC

16. COMPONENTS & CLADDING SCHEDULE

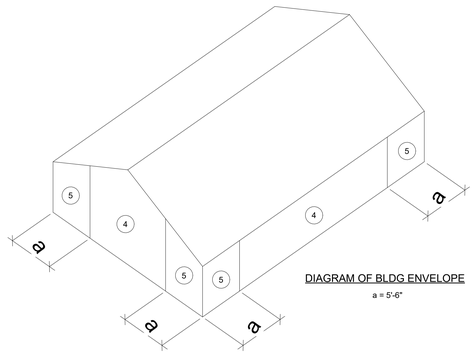

DIAGRAM OF BLDG ENVELOPE

a = 5'-6"

COMPONENT & CLADDING DESIGN WIND PRESSURES FOR EXTERIOR WALLS (ULTIMATE/SERVICE) (PSF)					
LOCATION		EFFECTIVE WIND AREA			
		10 FT²	50 FT²	100 FT²	200 FT²
NEGATIVE	ZONE 4	-28.8 / -17.3	-26.6 / -16.0	-25.7 / -25.7	-24.8 / -24.8
	ZONE 5	-34.0 / -20.4	-29.7 / -17.8	-27.9 / -27.9	-26.0 / -26.0
POSITIVE	ZONE 4 & 5	+27.1 / +16.2	+24.9 / +14.9	+24.0 / +24.0	+23.0 / +23.0

NOTES:
1. POSITIVE PRESSURE DENOTES WIND TOWARD WALL SURFACE, AND NEGATIVE PRESSURE DENOTES WIND AWAY FROM WALL SURFACE.

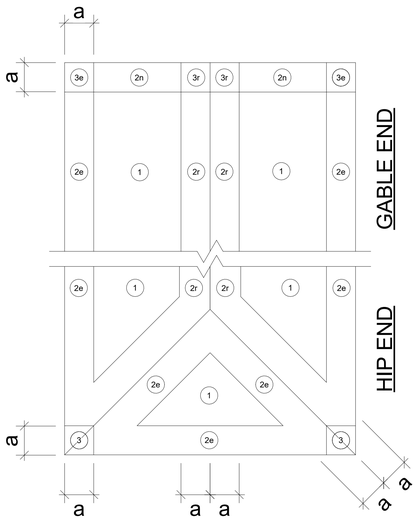

DIAGRAM OF BLDG ENVELOPE

a = 5'-6"

COMPONENT & CLADDING GROSS DESIGN WIND PRESSURES ALONG ROOF (ULTIMATE/SERVICE) (PSF)				
LOCATION		EFFECTIVE WIND AREA		
		10 FT²	50 FT²	100 FT²
NEGATIVE	ZONE 1 & 2e	-41.0 / -24.6	-28.8 / -17.3	-16.0 / -14.1
	ZONE 2n, 2r & 3e	-44.5 / -24.7	-35.1 / -21.1	-36.5 / -18.7
	ZONE 3r	-53.1 / -26.7	-40.8 / -24.5	-41.3 / -21.3
POSITIVE	ALL ZONES	+25.3 / +15.2	+20.4 / +12.2	+16.0 / +11.0
OVERHANG	ZONE 1,2e,2r	-45.4 / -27.2	-33.2 / -19.9	-31.3 / -16.8
	ZONE 2n & 3r	-48.9 / -29.3	-39.5 / -23.7	-50.7 / -21.3
	ZONE 3e	-57.5 / -34.5	-45.1 / -27.1	-46.8 / -23.9

NOTES:
1. POSITIVE PRESSURE DENOTES WIND TOWARD ROOF SURFACE, AND NEGATIVE PRESSURE DENOTES WIND AWAY FROM ROOF SURFACE.

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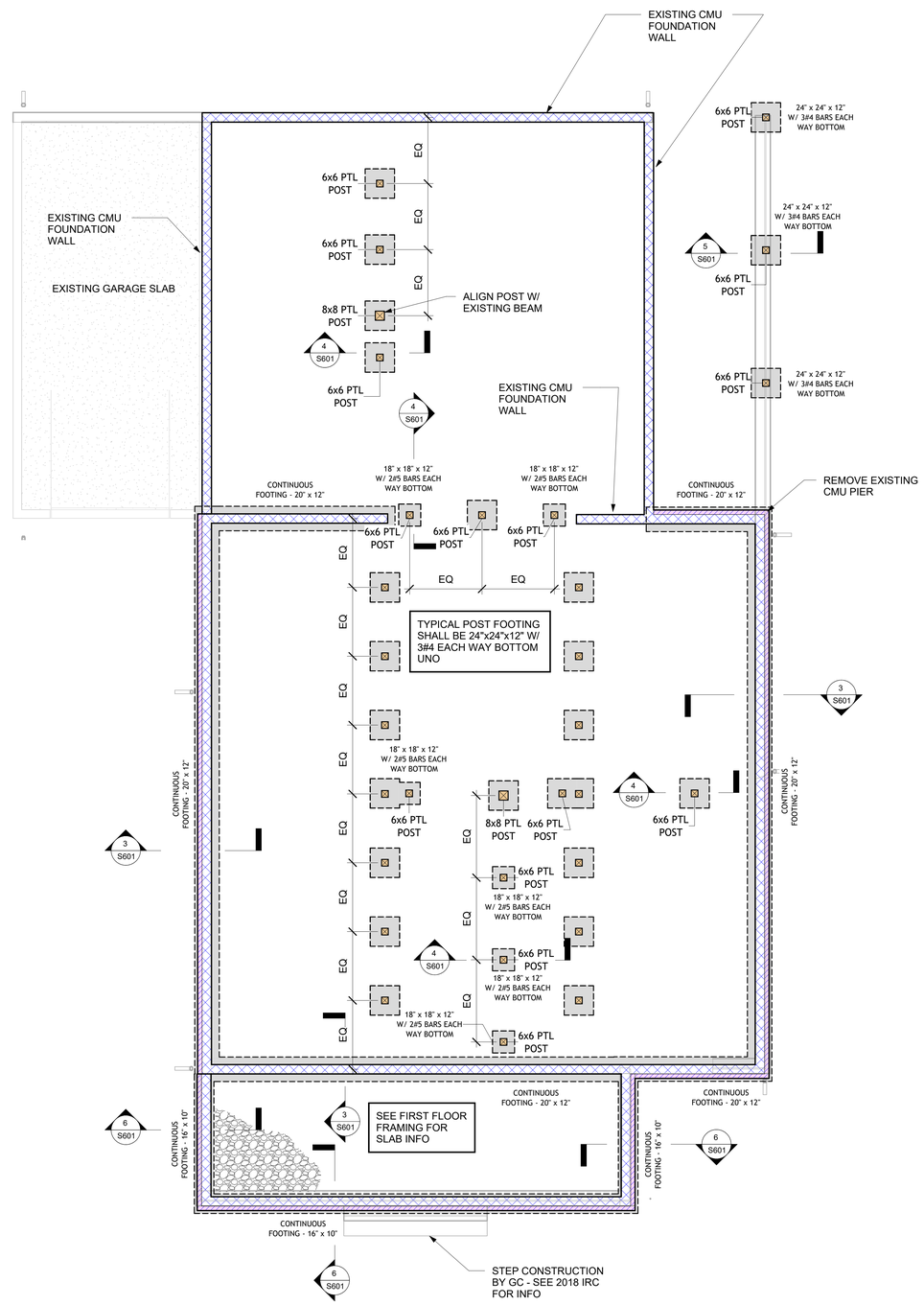

1 Foundation Plan
1/4" = 1'-0"

FOUNDATION NOTES

1. ALL FOOTINGS SHALL BE CENTERED BELOW COLUMNS AND WALLS UNLESS SPECIFICALLY SHOWN OTHERWISE ON PLAN OR DETAILS.
2. SEE 2/S601 FOR TYPICAL PIPE BELOW WALL FOOTING DETAIL. PRESSURIZED LIQUID PIPES SHALL NOT PASS BELOW FOOTING. NO PIPES SHALL PASS BELOW COLUMN FOOTINGS.
3. WARP FINISHED CONCRETE SURFACE AT BLDG ENTRANCES AS REQ'D.
4. SEE GENERAL NOTES FOR LUMBER SPECIES & GRADE INFO.
5. GEOTECHNICAL ENGINEER SHALL VERIFY EXISTING ALLOWABLE BEARING PRESSURE AT ALL FTG EXCAVATIONS PRIOR TO FTG PLACEMENT.
6. SEE ARCHITECTURAL UNIT PLANS FOR EXACT DIMS TO INTERIOR BEARING WALLS, SLAB RECESSES, SLOPED AREAS.
7. SEE ARCH DWGS FOR TOP OF SLAB ELEVATIONS, SLAB STEPS, AND SLOPES.
8. SEE S00# SERIES FOR GENERAL NOTES
   SEE S10# SERIES FOR FOUNDATION PLANS
   SEE S20# SERIES FOR WALL & FLOOR FRAMING PLANS
   SEE S30# SERIES FOR ROOF FRAMING PLANS
   SEE S40# SERIES FOR WALL FRAMING DETAILS & SCHEDULES
   SEE S60# SERIES FOR FOUNDATION/RETAINING WALL DETAILS
   SEE S70# SERIES FOR FLOOR FRAMING DETAILS
   SEE S80# SERIES FOR ROOF FRAMING DETAILS

FOUNDATION LEGEND

298	DENOTES TOP OF SLAB ELEVATION. SLAB SLOPES ARE NOT SHOWN ON STRUCTURAL DWGS. SEE ARCH DWGS FOR SLAB SLOPES.
	DENOTES 8" OR 12" CMU WALL. SEE GEN NOTES & S9.1 FOR TYP REINF UNO.
	DENOTES CIP CONC WALL.
TOF	DENOTES TOP OF FOOTING ELEVATION. TOP OF COL FOOTING SHALL MATCH TOP OF ADJACENT WALL FOOTING UNO.
TOW	DENOTES TOP OF WALL ELEVATION.
	DENOTES FOOTING STEP. SEE 10/S6.1 FOR TYP DETAIL
+298	DENOTES APPROXIMATE EXTERIOR SPOT ELEVATION. THESE ELEV'S WERE USED AS THE BASIS FOR SETTING THE TOP OF FOOTING ELEV'S SHOWN ON PLAN. SPOT ELEV'S ON STRUCT DWGS ARE NOT TO BE USED FOR EARTHWORK AND GRADING OPERATIONS. IF FINAL GRADES SHOWN ON CIVIL DWGS DEVIATE FROM SPOT ELEV'S SHOWN ON STRUCT DWGS THE GC SHALL NOTIFY THE STRUCTURAL ENGINEER BEFORE FTG PLACEMENT. IF GRADES SHOWN ON CIVIL ARE LOWER, FOOTING ELEVATIONS SHALL BE LOWERED TO MAINTAIN BOTT OF FOOTINGS AT 18" MIN BELOW GRADE
	INDICATES SLAB STEP. SEE ARCH DWGS FOR EXACT STEP DIMENSION.
	INDICATES RECESS OR SLOPING SLAB AREAS. SEE ARCH FOR RECESS DIM & SLOPE LENGTH.
	INDICATES CONTROL JOINT OR CONSTRUCTION JOINT. SEE 1/S601 FOR DETAILS.
	DENOTES FOUNDATION ANCHOR LOCATION. ANCHOR TYPE, INSTALLATION, AND ATTACHMENT IS THE RESPONSIBILITY OF THE CONTRACTOR. SEE 7/S601 FOR ADDITIONAL INFO.

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FOUNDATION PLAN

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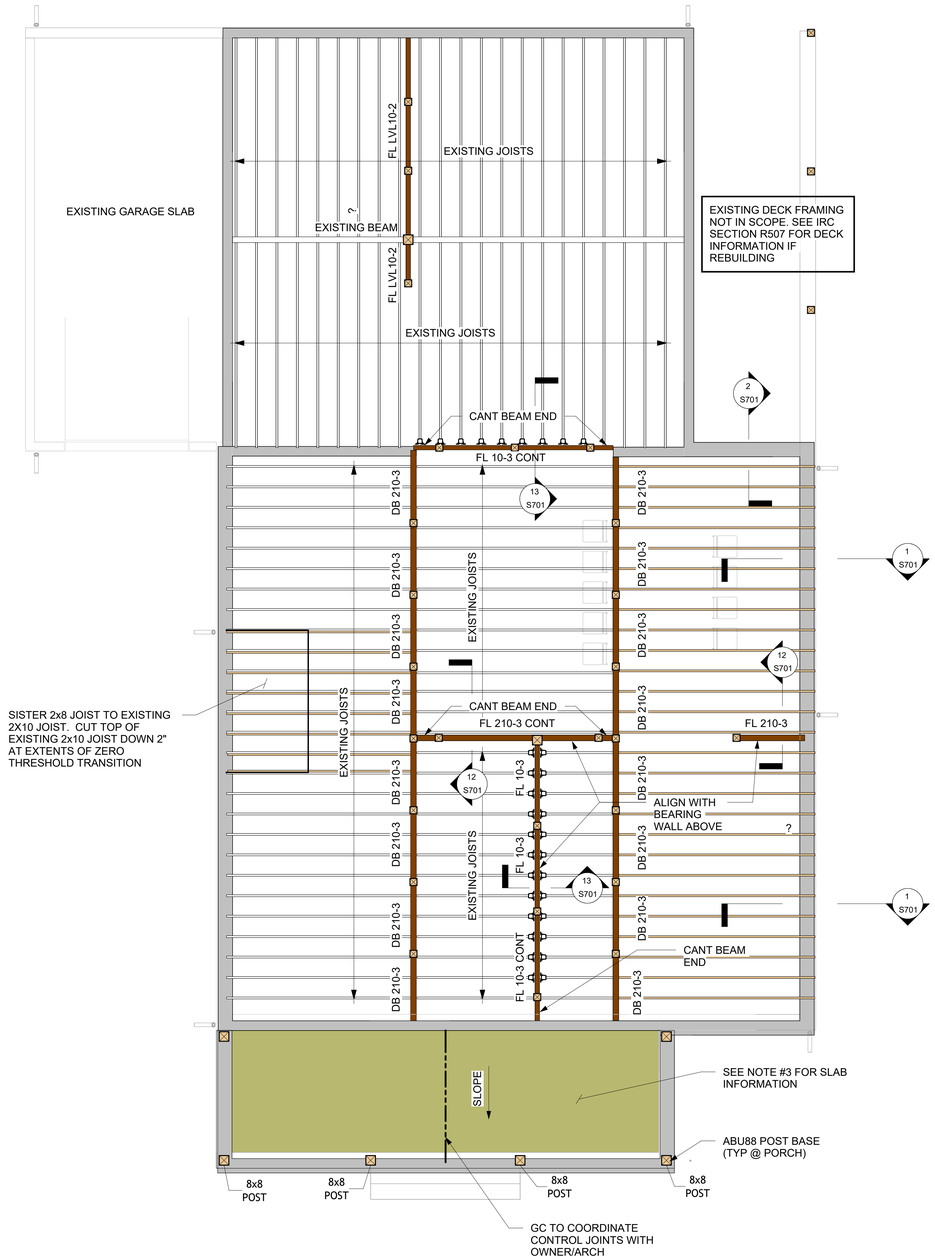

1 First Floor Framing Plan
1/4" = 1'-0"

FLOOR FRAMING NOTES

1. FLOOR FRAMING SHALL BE 2x10'S @ 16" O.C. MAX UNLESS OTHERWISE NOTED ON PLAN.
2. DECK FLOOR FRAMING SHALL BE PRESERVATIVE TREATED 2x8'S @ 16" OC MAX UNLESS OTHERWISE NOTED ON PLAN.
3. TYP SLAB ON GRADE SHALL BE 4" THK CONCRETE SLAB OVER VAPOR BARRIER & COMPACTED SUBGRADE. REINFORCE SLAB WITH FLAT SHEET WWF 6x6-W1.4xW1.4 LOCATED 11/2" FROM TOP OF SLAB.
4. FLOOR FRAMING PLAN IS INTENDED TO DENOTE FLOOR FRAMING BEARING WALLS, BEAMS / HEADERS AND SECTION INFO.
5. SEE S402 FOR THE MIN NUMBER OF WALL STUDS AT BEAM OR GT BEARING POINTS UNLESS NOTED OTHERWISE ON PLAN.
6. THE CENTERLINE OF THE BEAM OR GT SHALL MATCH THE CENTERLINE OF THE SUPPORTING WALL STUDS.
7. ALL JOIST/TRUSS TO BEAM CONNECTIONS SHALL BE LUS SERIES HANGERS TO MATCH JOIST DEPTH AND NUMBER OF PLY'S.
8. ALL BUILT-UP STUD COL'S MUST ALIGN FLOOR-TO-FLOOR WITH SOLID BLOCKING AT FLOOR CAVITY LOCATIONS AND CONTINUE TO FDN OR BEAM SUPPORT BELOW.
9. ALL CONNECTOR TYPES REFER TO SIMPSON STRONG-TIE SPECIFICATIONS. SEE GENERAL NOTES FOR ADD'L INFO.
10. SEE GENERAL NOTES FOR LUMBER SPECIES AND GRADE INFO.
11. SEE S00# SERIES FOR GENERAL NOTES
    SEE S10# SERIES FOR FOUNDATION PLANS
    SEE S20# SERIES FOR WALL & FLOOR FRAMING PLANS
    SEE S30# SERIES FOR ROOF FRAMING PLANS
    SEE S40# SERIES FOR WALL FRAMING DETAILS & SCHEDULES
    SEE S60# SERIES FOR FOUNDATION/RETAINING WALL DETAILS
    SEE S70# SERIES FOR FLOOR FRAMING DETAILS
    SEE S80# SERIES FOR ROOF FRAMING DETAILS

FLOOR FRAMING LEGEND

210-2 LVL10-2	DENOTES WOOD BEAM/HEADER DESIGNATION. FOR ADD'L INFO SEE BEAM/HEADER SCHEDULE ON 2 / S402
2K/1J	DENOTES QUANTITY OF KING STUDS (K) & JAMB STUDS (J) PER HEADER END. FOR STUD INFO SEE 3 / S402
	DENOTES BEARING WALL.
FL	DENOTES FLUSH BEAM WITH TOP OF BEAM AT TOP OF FLOOR JOIST/TRUSS.
	DENOTES HEADER WITHIN WALL FRAMING. SEE WALL FRAMING PLAN.
DB	DENOTES DROP BEAM WITH TOP OF BEAM AT OR BELOW JOIST/TRUSS BEARING.
	DENOTES JOIST.
	DENOTES JOIST/BEAM SUPPORT HANGER.
	DENOTES SLOPING SLAB AREAS. SEE ARCH FOR SLOPE LENGTH.
	INDICATES CONTROL JOINT OR CONSTRUCTION JOINT. SEE 1/S601 FOR DETAILS.

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FIRST FLOOR FRAMING PLAN

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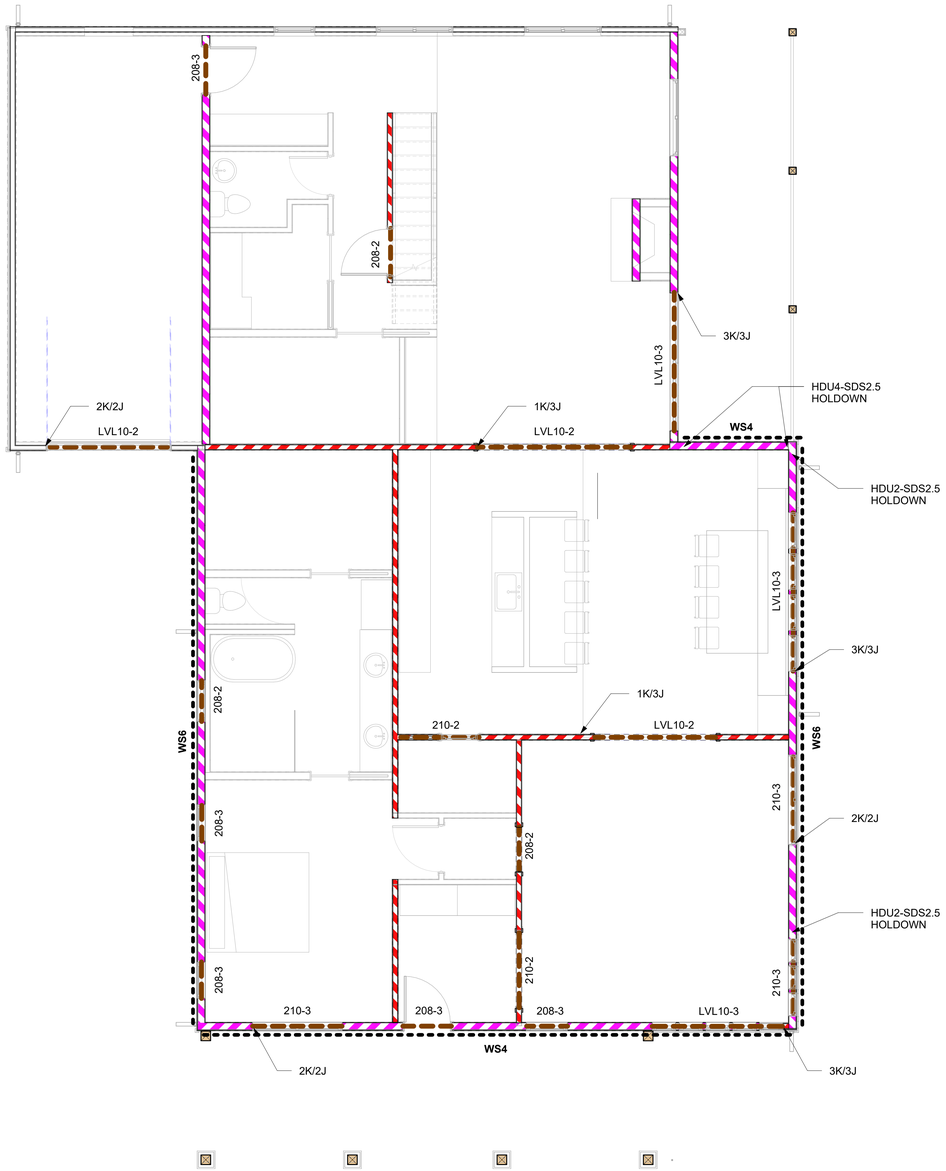

1 First level Wall Framing Plan
1/4" = 1'-0"

WALL FRAMING NOTES

1. SEE WALL FRAMING LEGEND BELOW AND PLAN FOR STUD SIZE AND SPACING AT EACH BEARING WALL. ALL STUD WALL OPENINGS SHALL HAVE 1-KING & 1-JAMB STUD EACH END MINIMUM UNLESS OTHERWISE NOTED ON PLAN.
2. FOR THE MIN NUMBER OF WALL STUDS AT BEAM OR GT BEARING POINTS UNO ON PLAN SEE 2 / S402
3. THE CENTERLINE OF THE BEAM OR GT SHALL MATCH THE CENTERLINE OF THE SUPPORTING WALL STUDS.
4. FOR ALLOWABLE WALL PLATE & STUD PENETRATIONS AT BRACING AND NON-BRACING WALLS SEE 1- 4 / S403
5. WHERE STUD ALIGNMENT IS REQUIRED, FOR ALLOWABLE OFFSET DISTANCE BETWEEN FLOOR/ROOF MEMBER FRAMING AND WALL STUDS SEE 5 / S403
6. FOR INTERSECTING BRACING WALL FRAMING DETAILS SEE 2- 4 / S401
7. FOR ADD'L BRACING INFO SEE DWG 1 / S401
8. ALL SHEAR WALLS SHALL BE TEMPORARILY BRACED DURING ALL PHASES OF CONSTRUCTION UNTIL PROPERLY SHEATHED PER GENERAL NOTES, S2, & S4 SERIES DRAWINGS.
9. SEE ARCH DWGS FOR EXACT FINISHED FLOOR ELEVATIONS.
10. DO NOT CORE BEAMS OR HEADERS UNLESS SPECIFIED BY EOR.
11. ALL BUILT-UP STUD COL'S MUST ALIGN FLOOR-TO-FLOOR WITH SOLID BLOCKING AT FLOOR CAVITY LOCATIONS AND CONTINUE TO FDN OR BEAM SUPPORT BELOW.
12. ALL CONNECTOR TYPES REFER TO SIMPSON STRONG-TIE SPECIFICATIONS. SEE GENERAL NOTES FOR ADD'L INFO.
13. SEE GENERAL NOTES FOR LUMBER SPECIES AND GRADE INFO.
14. SEE S00# SERIES FOR GENERAL NOTES
    SEE S10# SERIES FOR FOUNDATION PLANS
    SEE S20# SERIES FOR WALL & FLOOR FRAMING PLANS
    SEE S30# SERIES FOR ROOF FRAMING PLANS
    SEE S40# SERIES FOR WALL FRAMING DETAILS & SCHEDULES
    SEE S60# SERIES FOR FOUNDATION/RETAINING WALL DETAILS
    SEE S70# SERIES FOR FLOOR FRAMING DETAILS
    SEE S80# SERIES FOR ROOF FRAMING DETAILS

WALL FRAMING LEGEND

210-2 LVL10-2	INDICATES WOOD HEADER DESIGNATION. SEE BEAM/HEADER SCHEDULE FOR ADD'L INFO ON 2 / S402
2K/1J	DENOTES QUANTITY OF KING STUDS (K) & JAMB STUDS (J) PER HEADER END. SEE STUD INFO SEE 3 / S402
	DENOTES FLUSH BEAM WITH BOTTOM OF BEAM AT FLOOR JOIST/TRUSS BEARING. SEE FLOOR FRAMING PLAN.
	DENOTES HEADER WITHIN WALL FRAMING.
DB	DENOTES DROP BEAM WITH TOP OF BEAM AT OR BELOW JOIST/TRUSS BEARING.
WS6 GS7	DENOTES BRACING WALL MARK. FOR BRACING WALL SCHEDULES AND CONSTRUCTION REQUIREMENTS SEE 1 / S401
	DENOTES DESIGNATED BRACING WALL EXTENTS. ALL OTHER EXTERIOR WALLS SHALL BE SHEATHING AND FASTENED PER MINIMUM SHEATHING REQUIREMENTS.
	DENOTES 2x6 WALL WITH STUDS @ 16" OC MAX.
	DENOTES 2x6 WALL WITH STUDS @ 12" OC MAX.
	DENOTES 2x4 WALL WITH STUDS @ 16" OC MAX.
	DENOTES 2x4 WALL WITH STUDS @ 12" OC MAX.

Fernz Structural

www.fernz-structural.com

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ARCHITECT: Made Architecture, LLC
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GEORGIA REGISTERED No. PE045304 PROFESSIONAL ENGINEER MICHAEL R. FERNANDEZ

November 14, 2025

Issuances

No.	Description	Date
	Issued for Permit	11/14/25

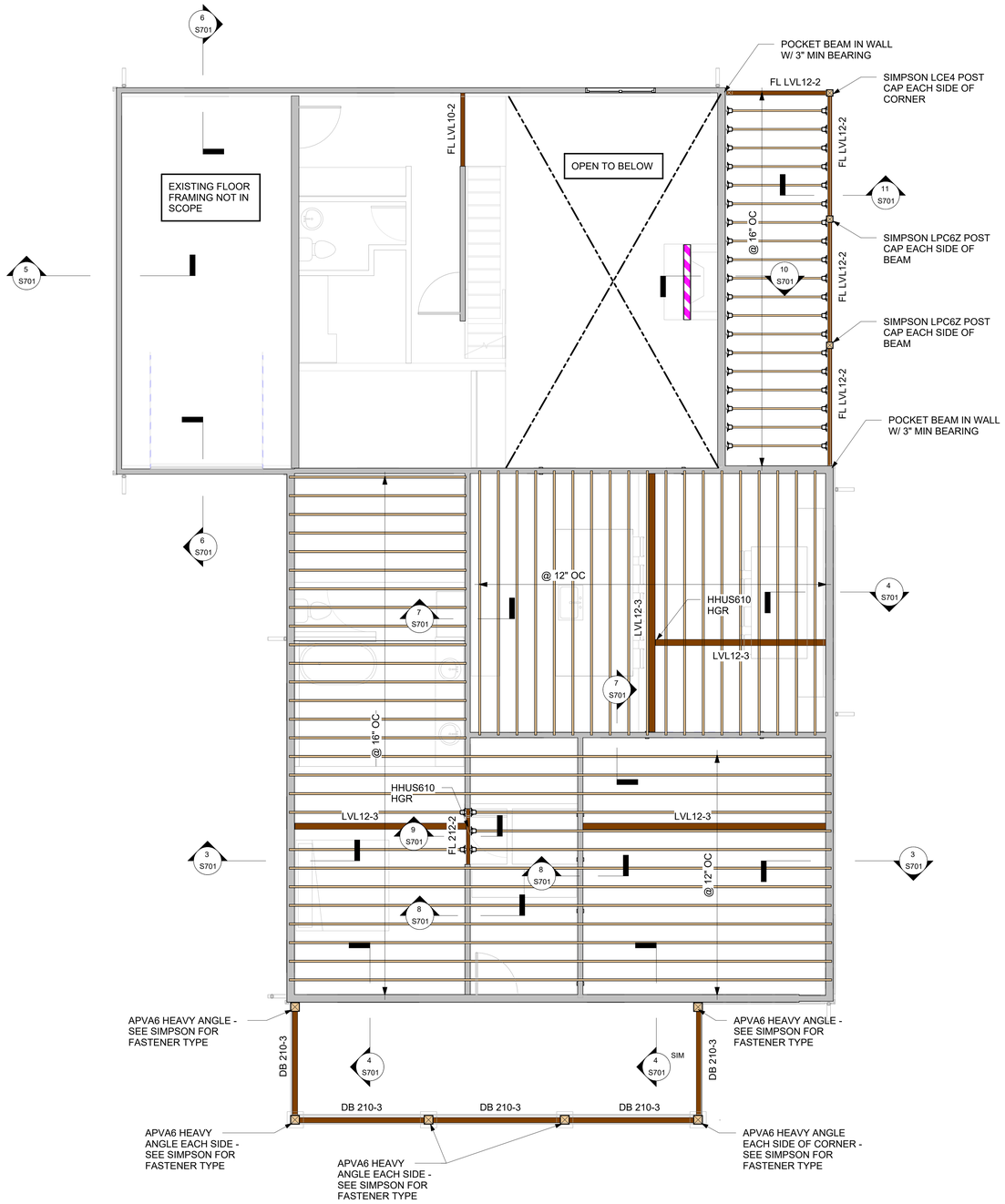
Issued for Construction

FIRST LEVEL WALL FRAMING PLAN

Project number	25-060
Date	10/15/2025
Drawn by	MRF
Checked by	MRF

S202

BLDG2511065886



1 Second Floor Framing Plan
1/4" = 1'-0"

FLOOR FRAMING NOTES

1. FLOOR FRAMING SHALL BE BCI 90s 2.0 SERIES 11-7/8" DEEP ENGINEERED I-JOISTS UNLESS OTHERWISE NOTED ON PLAN. SEE PLAN FOR SPACING.
2. DECK FLOOR FRAMING SHALL BE PRESERVATIVE TREATED 2x8'S @ 16" OC MAX UNLESS OTHERWISE NOTED ON PLAN.
3. SEE I-JOIST MANUFACTURER FOR ALL ALLOWABLE JOIST PENETRATIONS AND ADDITIONAL FRAMING REQUIREMENTS.
4. FLOOR FRAMING PLAN IS INTENDED TO DENOTE FLOOR FRAMING BEARING WALLS, BEAMS / HEADERS AND SECTION INFO.
5. SEE S402 FOR THE MIN NUMBER OF WALL STUDS AT BEAM OR GT BEARING POINTS UNLESS NOTED OTHERWISE ON PLAN.
6. THE CENTERLINE OF THE BEAM OR GT SHALL MATCH THE CENTERLINE OF THE SUPPORTING WALL STUDS.
7. ALL JOIST/TRUSS TO BEAM CONNECTIONS SHALL MATCH JOIST DEPTH AND NUMBER OF PLY'S. SEE DETAILS FOR HANGER SERIES.
8. ALL BUILT-UP STUD COL'S MUST ALIGN FLOOR-TO-FLOOR WITH SOLID BLOCKING AT FLOOR CAVITY LOCATIONS AND CONTINUE TO FDN OR BEAM SUPPORT BELOW.
9. ALL CONNECTOR TYPES REFER TO SIMPSON STRONG-TIE SPECIFICATIONS. SEE GENERAL NOTES FOR ADD'L INFO.
10. SEE GENERAL NOTES FOR LUMBER SPECIES AND GRADE INFO.
11. SEE S00# SERIES FOR GENERAL NOTES
    SEE S10# SERIES FOR FOUNDATION PLANS
    SEE S20# SERIES FOR WALL & FLOOR FRAMING PLANS
    SEE S30# SERIES FOR ROOF FRAMING PLANS
    SEE S40# SERIES FOR WALL FRAMING DETAILS & SCHEDULES
    SEE S60# SERIES FOR FOUNDATION/RETAINING WALL DETAILS
    SEE S70# SERIES FOR FLOOR FRAMING DETAILS
    SEE S80# SERIES FOR ROOF FRAMING DETAILS

FLOOR FRAMING LEGEND

210-2 LVL10-2	DENOTES WOOD BEAM/HEADER DESIGNATION. FOR ADD'L INFO SEE BEAM/HEADER SCHEDULE ON 2 / S402
2K/1J	DENOTES QUANTITY OF KING STUDS (K) & JAMB STUDS (J) PER HEADER END. FOR STUD INFO SEE 3 / S402
	DENOTES BEARING WALL.
FL	DENOTES FLUSH BEAM WITH TOP OF BEAM AT TOP OF FLOOR JOIST/TRUSS.
	DENOTES HEADER WITHIN WALL FRAMING. SEE WALL FRAMING PLAN.
DB	DENOTES DROP BEAM WITH TOP OF BEAM AT OR BELOW JOIST/TRUSS BEARING.
	DENOTES JOIST.
	DENOTES JOIST/BEAM SUPPORT HANGER.

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November 14, 2025

Issuances

No.	Description	Date
	Issued for Permit	11/14/25

Issued for Construction

SECOND FLOOR FRAMING PLAN

Project number	25-060
Date	10/15/2025
Drawn by	MRF
Checked by	MRF

S203

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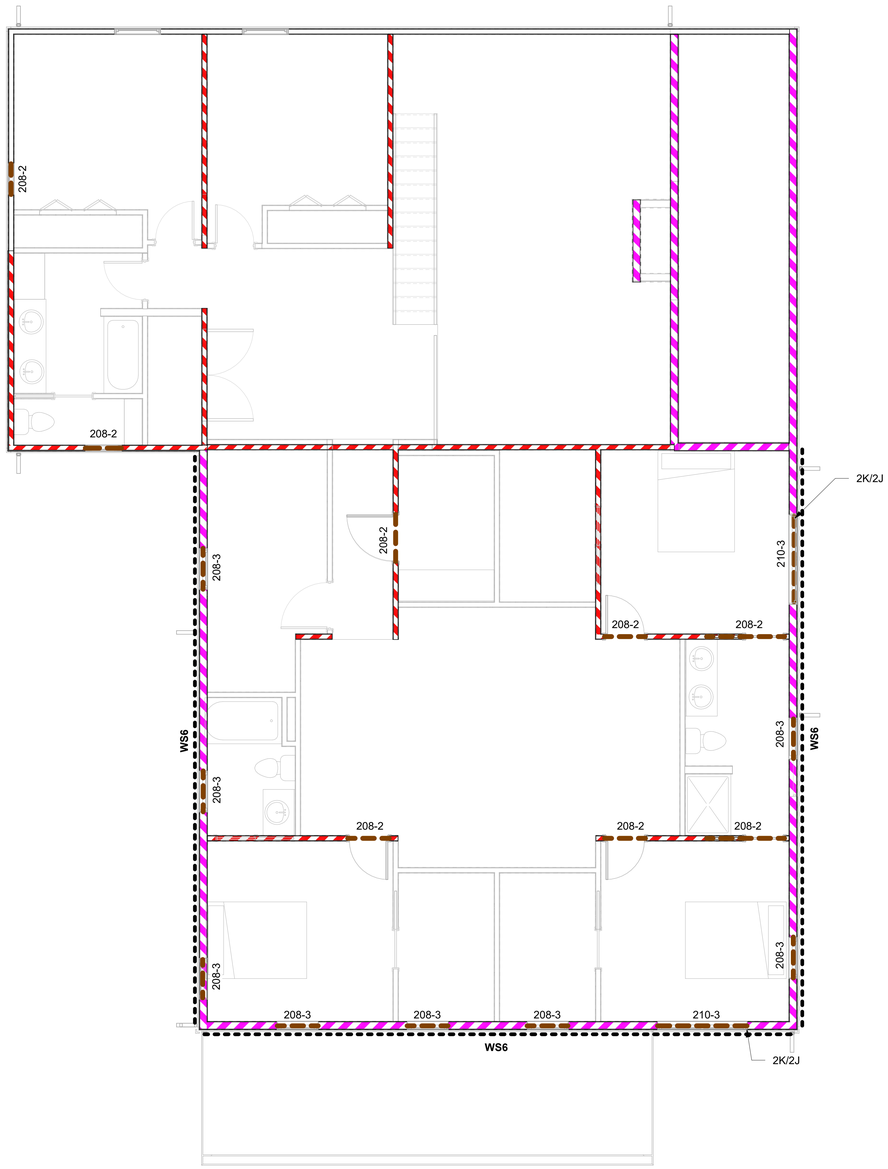

1 Second Floor Wall Framing Plan
1/4" = 1'-0"

WALL FRAMING NOTES

1. SEE WALL FRAMING LEGEND BELOW AND PLAN FOR STUD SIZE AND SPACING AT EACH BEARING WALL. ALL STUD WALL OPENINGS SHALL HAVE 1-KING & 1-JAMB STUD EACH END MINIMUM UNLESS OTHERWISE NOTED ON PLAN.
2. FOR THE MIN NUMBER OF WALL STUDS AT BEAM OR GT BEARING POINTS UNO ON PLAN SEE 2 / S402
3. THE CENTERLINE OF THE BEAM OR GT SHALL MATCH THE CENTERLINE OF THE SUPPORTING WALL STUDS.
4. FOR ALLOWABLE WALL PLATE & STUD PENETRATIONS AT BRACING AND NON-BRACING WALLS SEE 1- 4 / S403
5. WHERE STUD ALIGNMENT IS REQUIRED, FOR ALLOWABLE OFFSET DISTANCE BETWEEN FLOOR/ROOF MEMBER FRAMING AND WALL STUDS SEE 5 / S403
6. FOR INTERSECTING BRACING WALL FRAMING DETAILS SEE 2- 1 / S401
7. FOR ADD'L BRACING INFO SEE DWG 4 / S401
8. ALL SHEAR WALLS SHALL BE TEMPORARILY BRACED DURING ALL PHASES OF CONSTRUCTION UNTIL PROPERLY SHEATHED PER GENERAL NOTES, S2, & S4 SERIES DRAWINGS.
9. SEE ARCH DWGS FOR EXACT FINISHED FLOOR ELEVATIONS.
10. DO NOT CORE BEAMS OR HEADERS UNLESS SPECIFIED BY EOR.
11. ALL BUILT-UP STUD COL'S MUST ALIGN FLOOR-TO-FLOOR WITH SOLID BLOCKING AT FLOOR CAVITY LOCATIONS AND CONTINUE TO FDN OR BEAM SUPPORT BELOW.
12. ALL CONNECTOR TYPES REFER TO SIMPSON STRONG-TIE SPECIFICATIONS. SEE GENERAL NOTES FOR ADD'L INFO.
13. SEE GENERAL NOTES FOR LUMBER SPECIES AND GRADE INFO.
14. SEE S00# SERIES FOR GENERAL NOTES
    SEE S10# SERIES FOR FOUNDATION PLANS
    SEE S20# SERIES FOR WALL & FLOOR FRAMING PLANS
    SEE S30# SERIES FOR ROOF FRAMING PLANS
    SEE S40# SERIES FOR WALL FRAMING DETAILS & SCHEDULES
    SEE S60# SERIES FOR FOUNDATION/RETAINING WALL DETAILS
    SEE S70# SERIES FOR FLOOR FRAMING DETAILS
    SEE S80# SERIES FOR ROOF FRAMING DETAILS

WALL FRAMING LEGEND

210-2 LVL10-2	INDICATES WOOD HEADER DESIGNATION. SEE BEAM/HEADER SCHEDULE FOR ADD'L INFO ON 2 / S402
2K/1J	DENOTES QUANTITY OF KING STUDS (K) & JAMB STUDS (J) PER HEADER END. SEE STUD INFO SEE 3 / S402
	DENOTES FLUSH BEAM WITH BOTTOM OF BEAM AT FLOOR JOIST/TRUSS BEARING. SEE FLOOR FRAMING PLAN.
	DENOTES HEADER WITHIN WALL FRAMING.
DB	DENOTES DROP BEAM WITH TOP OF BEAM AT OR BELOW JOIST/TRUSS BEARING.
WS6 GS7	DENOTES BRACING WALL MARK. FOR BRACING WALL SCHEDULES AND CONSTRUCTION REQUIREMENTS SEE 1 / S401
	DENOTES DESIGNATED BRACING WALL EXTENTS. ALL OTHER EXTERIOR WALLS SHALL BE SHEATHING AND FASTENED PER MINIMUM SHEATHING REQUIREMENTS.
	DENOTES 2x6 WALL WITH STUDS @ 16" OC MAX.
	DENOTES 2x6 WALL WITH STUDS @ 12" OC MAX.
	DENOTES 2x4 WALL WITH STUDS @ 16" OC MAX.
	DENOTES 2x4 WALL WITH STUDS @ 12" OC MAX.

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GEORGIA REGISTERED No. PE045304 PROFESSIONAL ENGINEER MICHAEL R. FERNANDEZ

November 14, 2025

Issuances

No.	Description	Date

Issued for Construction

SECOND LEVEL WALL FRAMING PLAN

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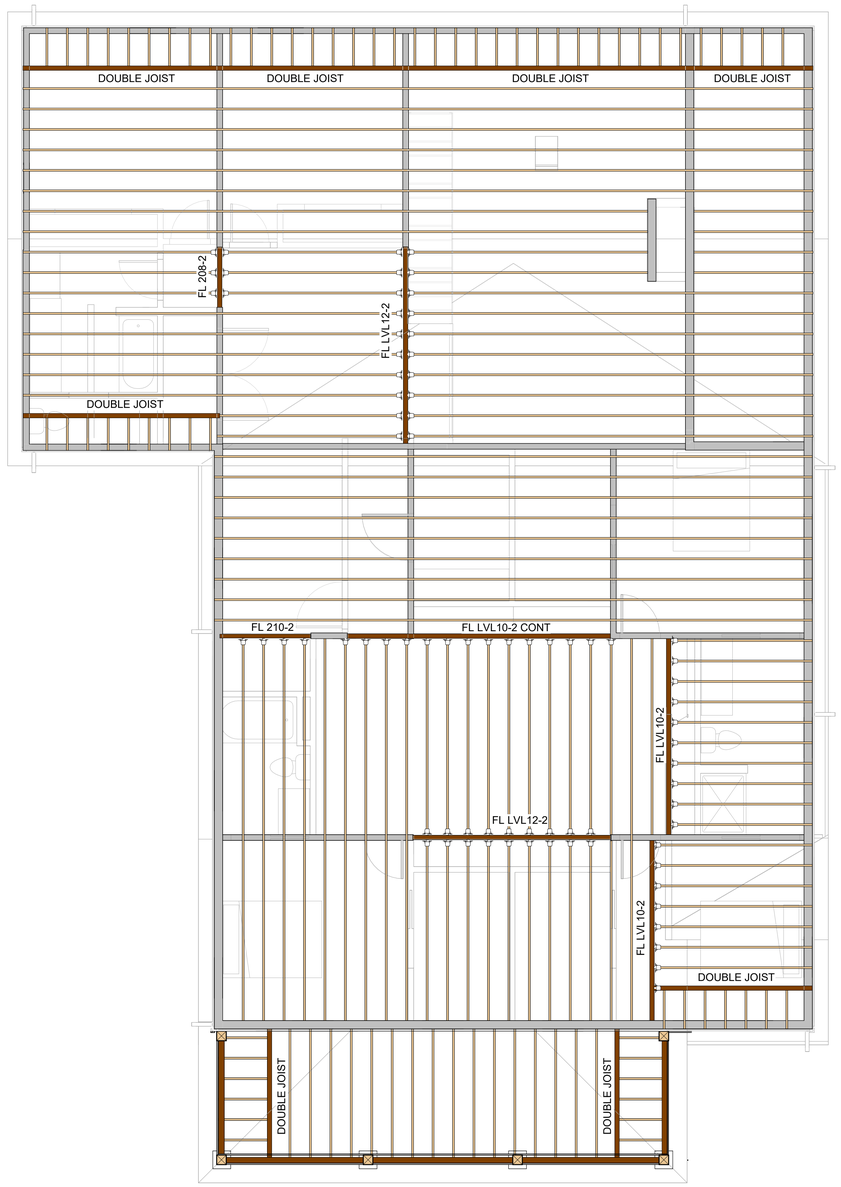

1 Ceiling Joist Framing Plan
1/4" = 1'-0"

CEILING JOIST FRAMING NOTES

1. CEILING JOIST FRAMING SHALL BE AS FOLLOWS:
   SPAN UP TO 8'-0", 2x4'S @ 16" OC.
   SPAN UP TO 12'-0", 2x6'S @ 16" OC.
   SPAN UP TO 15'-0", 2x8'S @ 16" OC.
2. ALL JOIST TO BEAM CONNECTIONS SHALL BE LUS SERIES HANGERS TO MATCH JOIST DEPTH AND # OF PLY'S UNO.
3. SEE S402 FOR THE MIN NUMBER OF WALL STUDS AT BEAM OR GT BEARING POINTS UNLESS NOTED OTHERWISE ON PLAN.
4. THE CENTERLINE OF THE BEAM OR GT SHALL MATCH THE CENTERLINE OF THE SUPPORTING WALL STUDS.
5. ALL JOIST/TRUSS TO BEAM CONNECTIONS SHALL BE LUS SERIES HANGERS TO MATCH JOIST DEPTH AND NUMBER OF PLY'S.
6. ALL BUILT-UP STUD COL'S MUST ALIGN FLOOR-TO-FLOOR WITH SOLID BLOCKING AT FLOOR CAVITY LOCATIONS AND CONTINUE TO FDN OR BEAM SUPPORT BELOW.
7. ALL CONNECTOR TYPES REFER TO SIMPSON STRONG-TIE SPECIFICATIONS. SEE GENERAL NOTES FOR ADD'L INFO.
8. SEE GENERAL NOTES FOR LUMBER SPECIES AND GRADE INFO.
9. SEE S00# SERIES FOR GENERAL NOTES
   SEE S10# SERIES FOR FOUNDATION PLANS
   SEE S20# SERIES FOR WALL & FLOOR FRAMING PLANS
   SEE S30# SERIES FOR ROOF FRAMING PLANS
   SEE S40# SERIES FOR WALL FRAMING DETAILS & SCHEDULES
   SEE S60# SERIES FOR FOUNDATION/RETAINING WALL DETAILS
   SEE S70# SERIES FOR FLOOR FRAMING DETAILS
   SEE S80# SERIES FOR ROOF FRAMING DETAILS

CEILING JOIST FRAMING LEGEND

210-2 LVL10-2	DENOTES WOOD BEAM/HEADER DESIGNATION. FOR ADD'L INFO SEE BEAM/HEADER SCHEDULE ON 2 / S402
2K/1J	DENOTES QUANTITY OF KING STUDS (K) & JAMB STUDS (J) PER HEADER END. FOR STUD INFO SEE 3 / S402
	DENOTES BEARING WALL.
FL	DENOTES FLUSH BEAM WITH BOTTOM OF BEAM AT FLOOR JOIST/TRUSS BEARING.
	DENOTES HEADER WITHIN WALL FRAMING. SEE WALL FRAMING PLAN.
DB	DENOTES DROP BEAM WITH TOP OF BEAM AT OR BELOW JOIST/TRUSS BEARING.
	DENOTES JOIST.
	DENOTES JOIST/BEAM SUPPORT HANGER.

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Issuances

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Issued for Construction

CEILING JOIST FRAMING PLAN

Project number	25-060
Date	10/15/2025
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Checked by	MRF

S301

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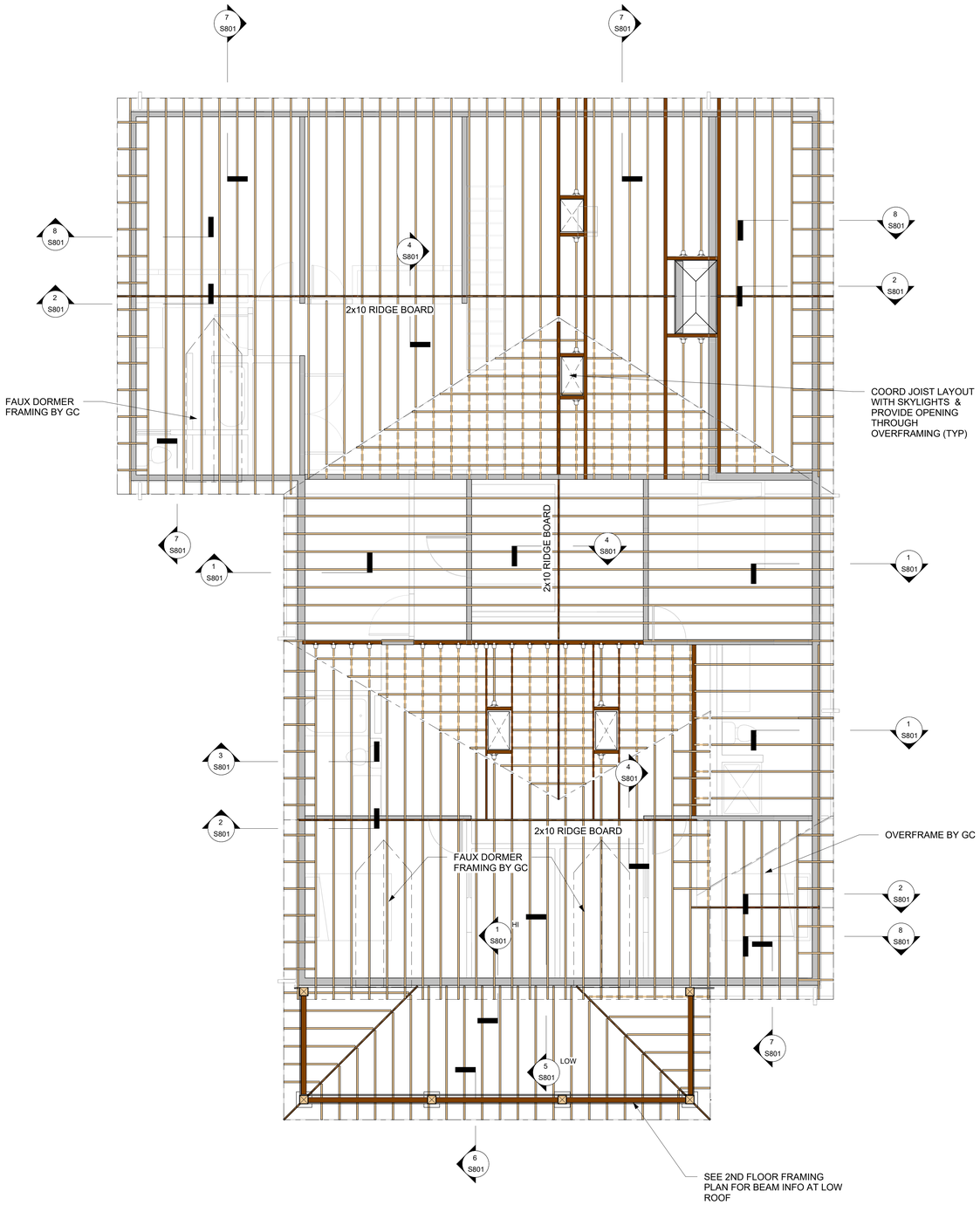

1 Roof Framing Plan
1/4" = 1'-0"

ROOF FRAMING NOTES

1. MAIN ROOF FRAMING SHALL BE SYP #2 GRADE 2x8'S @ 16" OC MAX UNO.
2. FRONT PORCH ROOF FRAMING SHALL BE SYP #2 GRADE 2x6'S @ 16" OC MAX.
3. ROOF FRAMING PLAN IS INTENDED TO DENOTE ROOF FRAMING, BEARING WALLS, BEAMS AND SECTION INFO.
4. SEE S402 FOR THE MIN NUMBER OF WALL STUDS AT BEAM OR GT BEARING POINTS UNO ON PLAN.
5. ALL TRUSS-TO-TRUSS CONNECTIONS ARE BY TRUSS DESIGNER.
6. THE CENTERLINE OF THE BEAM OR GT SHALL MATCH THE CENTERLINE OF THE SUPPORTING WALL STUDS.
7. ALL BUILT-UP STUD COL'S MUST ALIGN FLOOR-TO-FLOOR WITH SOLID BLOCKING AT FLOOR CAVITY LOCATIONS AND CONTINUE TO FDN OR BEAM SUPPORT BELOW.
8. ALL CONNECTOR TYPES REFER TO SIMPSON STRONG-TIE SPECIFICATIONS. SEE GENERAL NOTES FOR ADD'L INFO.
9. SEE GENERAL NOTES FOR LUMBER SPECIES AND GRADE INFO.
10. SEE S00# SERIES FOR GENERAL NOTES
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    SEE S70# SERIES FOR FLOOR FRAMING DETAILS
    SEE S80# SERIES FOR ROOF FRAMING DETAILS

ROOF FRAMING LEGEND

210-2 LVL10-2	INDICATES WOOD BEAM/HEADER DESIGNATION. SEE BEAM/HEADER SCHEDULE ON S402 FOR ADD'L INFO.
2K/1J	DENOTES QUANTITY OF KING STUDS (K) & JAMB STUDS (J) PER HEADER END. SEE S402 FOR STUD INFO.
HB/HT	DENOTES HIP BEAM OR HIP TRUSS.
VB/VT	DENOTES VALLEY BEAM OR VALLEY TRUSS.
GT	DENOTES GIRDER TRUSS.
	DENOTES BEARING WALL.
FL	DENOTES FLUSH BEAM WITH BOTTOM OF BEAM AT FLOOR JOIST/TRUSS BEARING.
	DENOTES HEADER WITHIN WALL FRAMING. SEE WALL FRAMING PLAN.
DB	DENOTES DROP BEAM WITH TOP OF BEAM AT OR BELOW JOIST/TRUSS BEARING.
	DENOTES TRUSS/RAFTER.
	DENOTES JOIST/BEAM SUPPORT HANGER.

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ROOF FRAMING PLAN

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Checked by	MRF

S302

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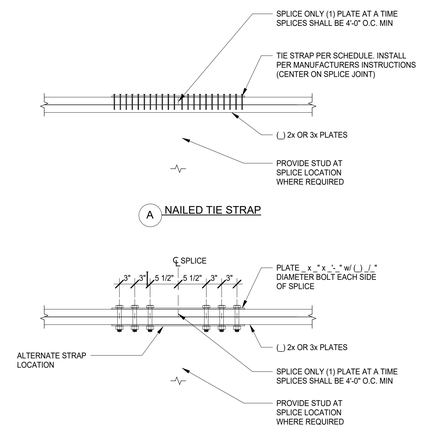
SHEAR WALL MARK	SHEATHING		NAILING (1),(2),(3),(4),(5)		BLOCKED PANEL EDGES	ASD ALLOW. CAPACITY (W/ NO WIND/LOAD INCREASE)	BASE PLATE FASTENING	SILL PLATE ANCHORAGE (7),(8)			
								RECOMMENDED	ALTERNATE		
	7/16" PLYWOOD OR OSB	5/8 INCH GYPSUM WALLBOARD OR GYPSUM SHEATHING	EDGE NAILING	FIELD NAILING		APPLIED DIRECTLY TO STUD MATERIAL	SIMPSON SDWC15450 SCREWS	A307 HEADED ANCHOR BOLT	POST-INSTALLED ANCHORS SEE GEN NOTES, NOTE #10	PAF PINS SEE GEN NOTES, NOTE #6	SIMPSON MUDSILL ANCHOR (MASA OR MASB)
WS2 (6)	•		8d @ 2" OC	8d @ 2" OC	YES	589 PLF	4" OC	1/2"ø @ 3'-0" OC	1/2"ø x 2-1/4" EMBED @ 14" OC	N/A	18" OC
WS3	•		8d @ 3" OC	8d @ 3" OC	YES	451 PLF	5" OC	1/2"ø @ 4'-0" OC	1/2"ø x 2-1/4" EMBED @ 14" OC	N/A	20" OC
WS4	•		8d @ 4" OC	8d @ 4" OC	YES	350 PLF	7" OC	1/2"ø @ 5'-0" OC	1/2"ø x 2-1/4" EMBED @ 14" OC	N/A	30" OC
WS6	•		8d @ 6" OC	8d @ 6" OC	YES	239 PLF	10" OC	1/2"ø @ 6'-0" OC	1/2"ø x 2-1/4" EMBED @ 14" OC	N/A	40" OC
GS4B		•	6d @ 4" OC	6d @ 4" OC	YES	161 PLF	15" OC	1/2"ø @ 7'-0" OC	1/2"ø x 2-1/4" EMBED @ 14" OC	2'-0" OC	5'-0" OC
GS4		•	6d @ 4" OC	6d @ 4" OC	NO	133 PLF	18" OC	1/2"ø @ 7'-0" OC	1/2"ø x 2-1/4" EMBED @ 14" OC	5'-0" OC	6'-0" OC
GS7		•	6d @ 7" OC	6d @ 4" OC	NO	106 PLF	20" OC	1/2"ø @ 7'-0" OC	1/2"ø x 2-1/4" EMBED @ 14" OC	5'-0" OC	8'-0" OC

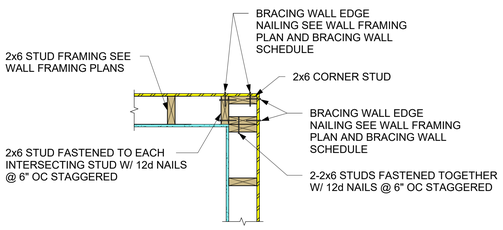
FOOTNOTES:

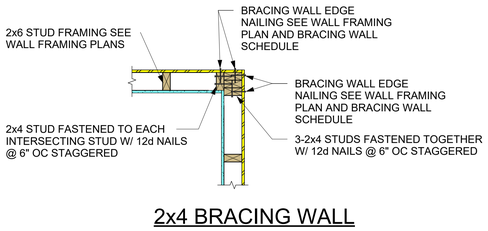
1. INTERIOR 5/8" GYPSUM SHEATHING REQUIRES 6d COOLER NAILS (0.092" Ø x 1-7/8" LONG, 1/4" HEAD) OR WALLBOARD NAILS (0.0915"Ø x 1-7/8" LONG, 19/64" HEAD).
2. DRYWALL SCREWS ARE PERMITTED AS A SUBSTITUTE FOR 6d COOLER NAILS PROVIDED THE DIMENSIONS OF THE DRYWALL SCREWS ARE NOT LESS THAN THE DIMENSIONS OF THE 6d COOLER NAIL THEY ARE REPLACING.
3. END JOINTS OF ADJACENT GYPSUM BOARD COURSES SHALL NOT OCCUR OVER THE SAME STUD.
4. ALL PLYWOOD AND OSB SHEATHING SHALL BE FASTENED WITH COMMON OR GALVANIZED NAILS.
5. SEE GENERAL NOTES, NOTE #9 FOR MINIMUM FASTENER DIMENSIONS.
6. FRAMING AT ADJOINING PANEL EDGES SHALL BE 3" NOMINAL OR WIDER AND NAILS AT PANEL EDGES SHALL BE STAGGERED. AT THE CONTRACTOR'S OPTION, (2) 2x STUDS FASTENED TOGETHER WITH 12d NAILS AT 4" OC STAGGERED MAY BE USED IN LIEU OF 3" NOMINAL OR WIDER MEMBER.
7. FOUNDATION ANCHOR BOLTS SHALL HAVE A STEEL PLATE WASHER UNDER EACH NUT NOT LESS THAN 0.229"x3"x3" IN SIZE UNO. THE HOLE IN THE PLATE WASHER SHALL BE PERMITTED TO BE DIAGONALLY SLOTTED WITH A WIDTH OF UP TO 3/16" LARGER THAN THE BOLT DIAMETER WITH SLOT LENGTH NOT TO EXCEED 1-3/4", PROVIDED A STANDARD CUT WASHER IS PLACED BETWEEN THE PLATE WASHER AND NUT.
8. THE PLATE WASHER SHALL EXTEND WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH SHEATHING.

1 BRACING WALL SHEATHING & FASTENING SCHEDULE
1/8" = 1'-0"

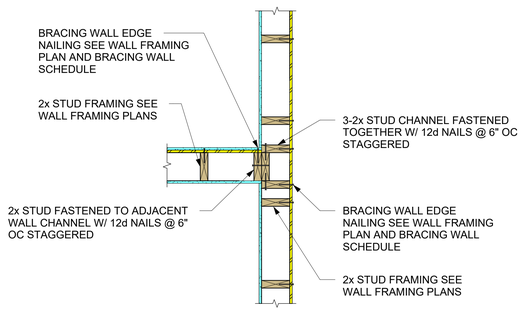


5 LAP SPLICE DETAIL
1" = 1'-0"

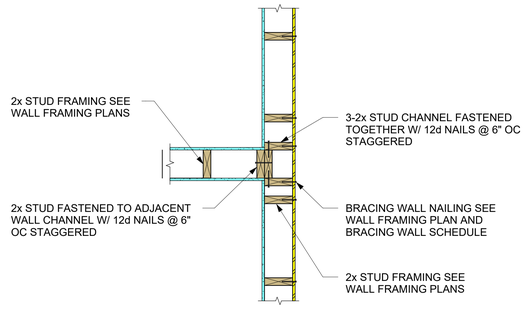




2 TYPICAL CORNER FASTENING DETAIL AT INTERSECTING BRACING WALLS
1" = 1'-0"



3 TYPICAL FASTENING DETAIL AT INTERSECTING BRACING WALLS
1" = 1'-0"



4 TYPICAL FASTENING DETAIL AT PARTITION WALL INTERSECTING BRACING WALLS
1" = 1'-0"

Fernz Structural

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PROJECT: Fleeman Residence Remodel & Addition
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royfleeman@gmail.com
Kate: katepetri@gmail.com

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706.969.5636
mike@fernz-structural.com

GENERAL CONTRACTOR: Clever Home LLC
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GEORGIA REGISTERED No. PE045304 PROFESSIONAL ENGINEER MICHAEL R. FERNANDEZ

November 14, 2025

Issuances

No.	Description	Date
	Issued for Permit	11/14/25

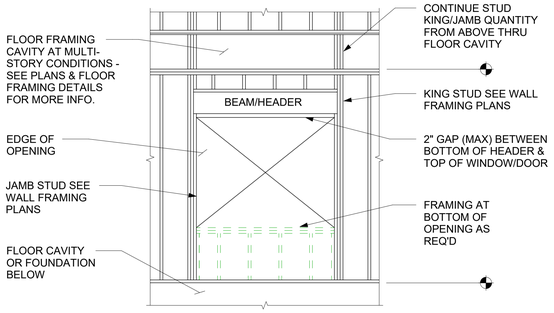
Issued for Construction

BRACING WALL SCHEDULES & DETAILS

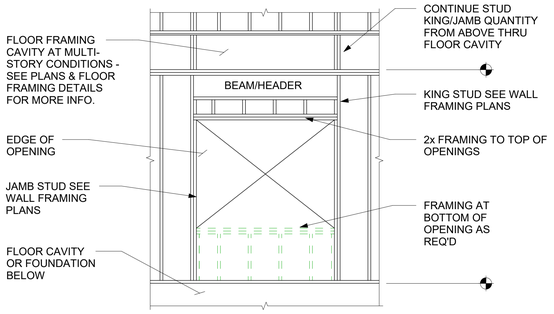
Project number	25-060
Date	10/15/2025
Drawn by	MRF
Checked by	MRF

S401

BLDG2511065886



TYPICAL WALL FRAMING @ OPENING



OPTIONAL WALL FRAMING @ OPENING (INTERIOR CONDITIONS ONLY)

1 STUD WALL OPENING FRAMING ELEVATIONS
1/8" = 1'-0"

MARK	DESCRIPTION
#	DENOTES NUMBER OF PLYS IN BEAM
208-#	# PLYS - 2x8 BEAM
210-#	# PLYS - 2x10 BEAM
212-#	# PLYS - 2x12 BEAM
214-#	# PLYS - 2x14 BEAM
LVL10-#	# PLYS - 1-3/4 x 9-1/4" LVL BEAM
LVL12-#	# PLYS - 1-3/4 x 11-7/8" LVL BEAM
LVL14-#	# PLYS - 1-3/4 x 14" LVL BEAM
LVL16-#	# PLYS - 1-3/4 x 16" LVL BEAM
LVL18-#	# PLYS - 1-3/4 x 18" LVL BEAM
PWT10-#	# PLYS - 1-3/4 x 9-1/4" PWT BEAM
PWT12-#	# PLYS - 1-3/4 x 9-1/4" PWT BEAM
GLU6.75x16.5	GLULAM BEAM WIDTH x DEPTH
PWT	PWT TREATED LVL
PTL	PRESERVATIVE TREATED LUMBER
LVL	LAMINATED VENEER LUMBER
GLU	GLULAM

NOTES:

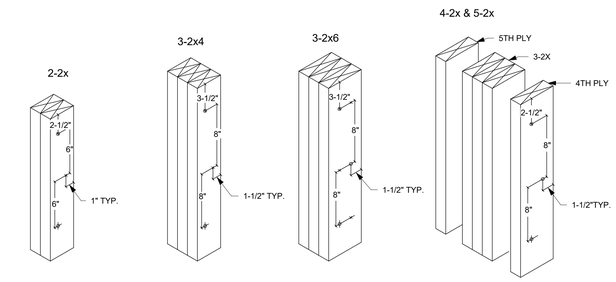
1. SEE GENERAL NOTES FOR BEAM / HEADER MATERIAL SPECIES AND GRADE INFO.
2. MULTI-PLY SAWN BEAMS/HEADERS AT EXTERIOR WALLS SHALL BE FASTENED TOGETHER PER SCHEDULE THIS SHEET. MULTI-PLY SAWN BEAMS/HEADERS AT INTERIOR WALLS SHALL BE FASTENED TOGETHER PER GENERAL NOTES (NAILING SCHEDULE).
3. MULTI-PLY LVL BEAMS / HEADERS SHALL BE FASTENED TOGETHER FROM ONE SIDE AS FOLLOWS:

   2-PLY: 2 ROWS OF 1/4" DIA x 33/8" LONG WD SCREWS @ 12" OC STAGGERED
   3-PLY: 3 ROWS OF 1/4" DIA x 5" LONG WD SCREWS @ 12" OC STAGGERED
   4-PLY: 3 ROWS OF 1/4" DIA x 63/4" LONG WD SCREWS @ 12" OC STAGGERED

4. THE MIN NUMBER OF WALL STUDS AT BEARING POINTS OF BUILT-UP MULTI-PLY FLUSH BEAMS SHALL MATCH THE NUMBER OF PLYS IN THE BEAM U.N.O. ALL LVL AND LSL FLUSH BEAMS SHALL HAVE A (3) STUD MIN BEARING. ALL GIRDER FLOOR TRUSSES (GT) SHALL HAVE A (2) STUD MIN BEARING UNO ON PLAN. SEE JAMB/KING STUD SCHEDULE FOR MIN NUMBER OF STUDS REQUIRED @ THE ENDS OF ALL HEADERS OR DROP BEAMS. THE CENTERLINE OF THE BEAM OR GT SHALL MATCH THE CENTERLINE OF THE SUPPORTING WALL STUDS.

2 BEAM & HEADER SCHEDULE
1/8" = 1'-0"

BUILT-UP COLUMN DETAILS



2-2X LAMINATIONS WITH ONE ROW OF 10d COMMON WIRE NAILS EACH FACE STAGGERED (D=0.148", L=3")

3-2X4 LAMINATIONS WITH ONE ROW OF 10d COMMON WIRE NAILS EACH FACE STAGGERED (D=0.148", L=3")

3-2X6 LAMINATIONS WITH TWO ROWS OF 10d COMMON WIRE NAILS EACH FACE STAGGERED (D=0.148", L=3")

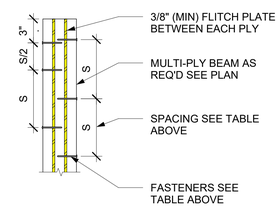
FASTEN 4TH AND 5TH LAMINATIONS W/ ONE ROW OF .22Ø X 3-1/2" WOOD SCREWS STAGGERED.

BUILT UP EXTERIOR HEADER FASTENING PATTERNS (UNO)	
BEAM SIZE	FASTENING PATTERN
2x8	3-3"x0.131" NAILS EACH END + 2 ROWS OF 3"x0.131" NAILS @ 6" OC EACH FACE
2x10	3-3"x0.131" NAILS EACH END + 3 ROWS OF 3"x0.131" NAILS @ 6" OC EACH FACE
2x12	3-3"x0.131" NAILS EACH END + 3 ROWS OF 3"x0.131" NAILS @ 6" OC EACH FACE

NOTES:

1. SEE GENERAL NOTES FOR BEAM / HEADER MATERIAL SPECIES AND GRADE INFO, AS WELL AS ADDITIONAL FASTENER INFORMATION.
2. "S" DENOTES NAIL SPACING SPECIFIED IN TABLE ABOVE.
3. ROWS SHALL BE EVENLY SPACED OVER DEPTH OF BEAM.
4. PROVIDE 1-1/4" MIN EDGE DISTANCE TO NAILS.

SAWN MULTI-PLY BEAM



3 BUILT-UP COLUMNS AND BEAMS
1/8" = 1'-0"

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WALL FRAMING SCHEDULES & DETAILS

Project number	25-060
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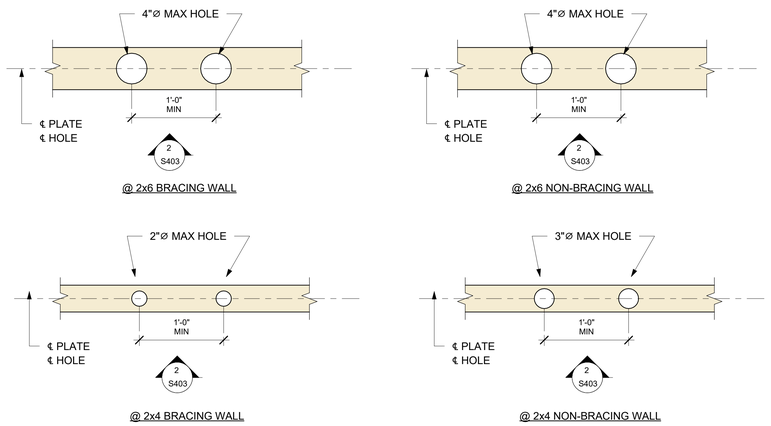
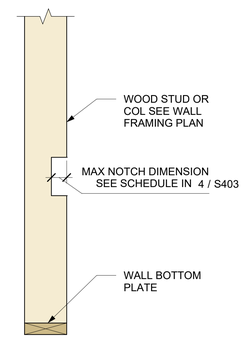
Drawn by	MRF
Checked by	MRF

S402

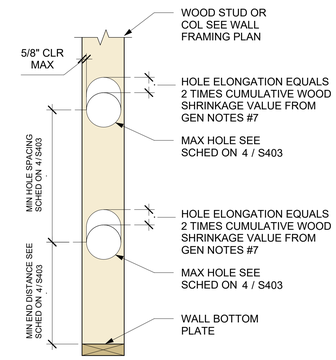
BLDG2511065886



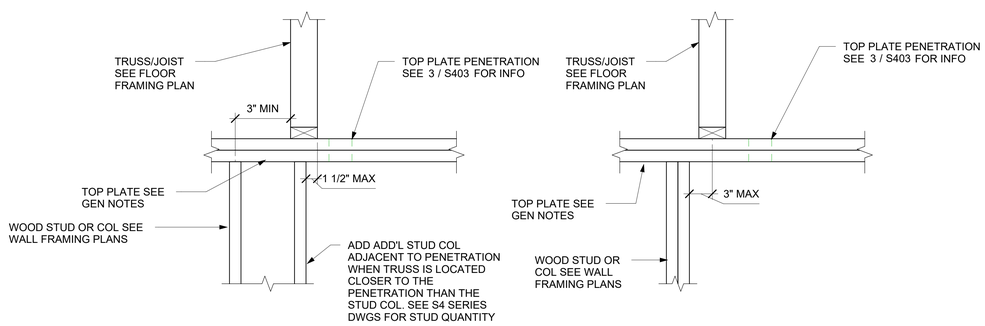
1 PLAN VIEW DETAIL AT WOOD WALL TOP PLATE PENETRATIONS
1 1/2" = 1'-0"



2 NOTCHING DETAIL AT LOAD BEARING STUD WALLS
1 1/2" = 1'-0"



3 BORING DETAIL AT LOAD BEARING STUD WALLS
1 1/2" = 1'-0"



5 ELEVATION VIEW AT WOOD WALL TOP PLATE PENETRATIONS
1 1/2" = 1'-0"

STUD COLUMN PER PLAN	MAX ⌀ HOLE IN STUD PACK	# HOLES/ STUD COL	HOLE-TO-HOLE SPACING	END DIST (TOP & BOTT)	ADD'L STUDS REQ'D[1]	NOTCH DIMENSION
4-2x4	3/4" 1-1/2" 2"	4 1 1	6" - -	12" 24" 24"	0 2 4	7/8"
3-2x4	3/4" 1-1/2" 2"	4 1 1	6" - -	12" 24" 24"	0 2 3	7/8"
2-2x4	3/4" 1-1/2" 2"	4 1 1	6" - -	12" 24" 24"	0 1 2	7/8"
1-2x4	3/4" 1-1/2" 2"	4 1 1	6" - -	12" 24" 24"	0 1 1	7/8"
4-2x6	3/4" 2" 3"	4 2 1	6" 24" -	12" 24" 24"	0 2 4	1-3/8"
3-2x6	3/4" 2" 3"	4 2 1	6" 24" -	12" 24" 24"	0 1 3	1-3/8"
2-2x6	3/4" 2" 3"	4 2 1	6" 24" -	12" 24" 24"	0 1 2	1-3/8"
1-2x6	3/4" 2" 3"	4 2 1	6" 24" -	12" 24" 24"	0 1 1	1-3/8"

NOTES:

1. LAMINATE ADDITIONAL STUDS TO EXISTING STUDS PER PLY LAMINATION REQUIREMENTS ON 3 / S402

4 STUD COLUMN ALLOWABLE PENETRATIONS SCHEDULE
1 1/2" = 1'-0"

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WALL FRAMING & BEAM PENETRATIONS

Project number	25-060
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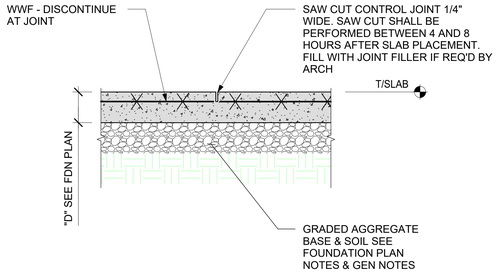
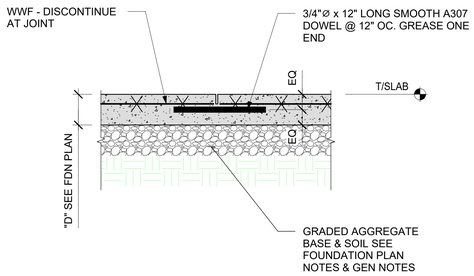
Drawn by	MRF
Checked by	MRF

S403

BLDG2511065886

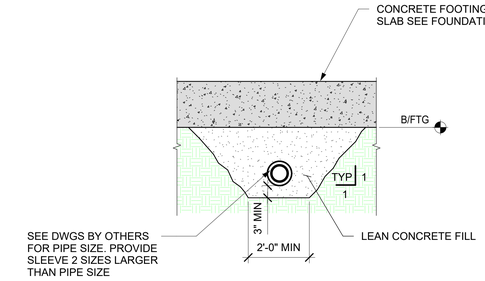


CONTROL JOINT

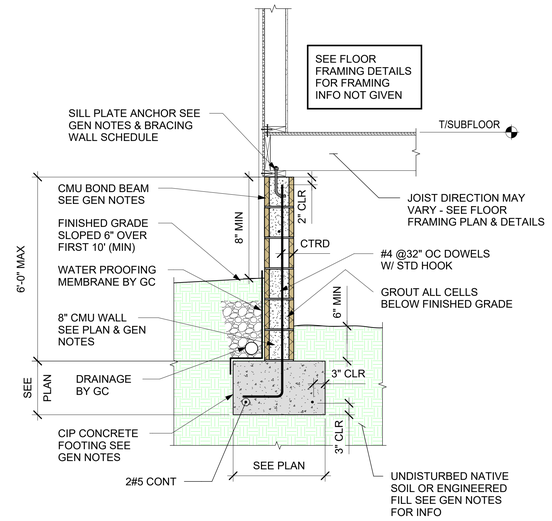


CONSTUCTION JOINT

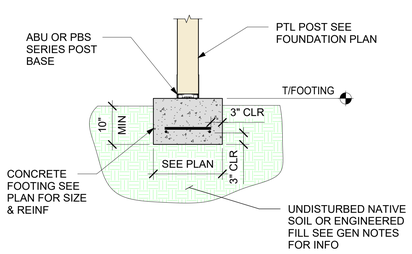
1 DETAIL AT SLAB JOINT
1 1/2" = 1'-0"



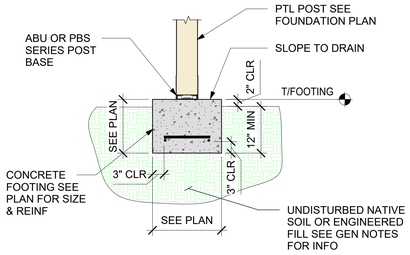
2 DETAIL AT PIPE BELOW FOOTING
3/4" = 1'-0"



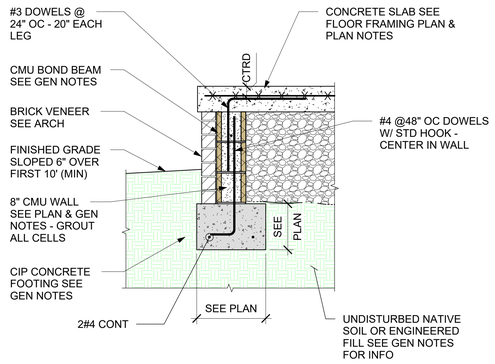
3 SECTION AT EXT CMU WALL
3/4" = 1'-0"



4 SECTION AT INTERIOR FOOTING
3/4" = 1'-0"



5 SECTION AT EXTERIOR FOOTING
3/4" = 1'-0"



6 SECTION AT FRONT PORCH
3/4" = 1'-0"

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FOUNDATION SECTIONS & DETAILS

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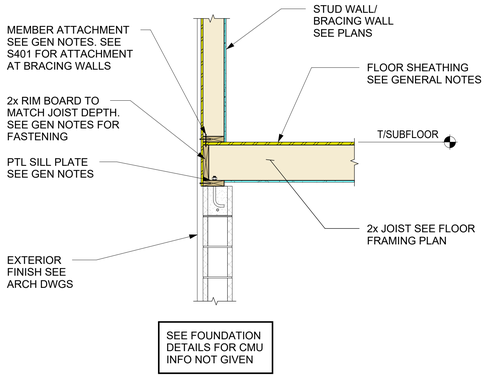
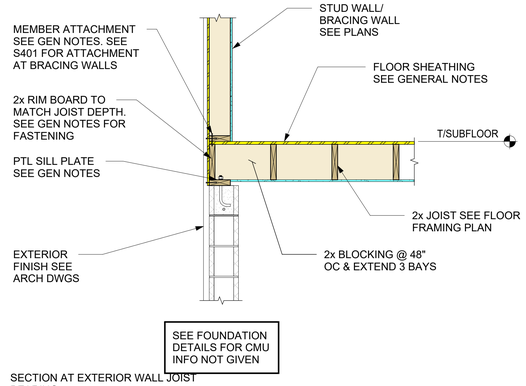
S601

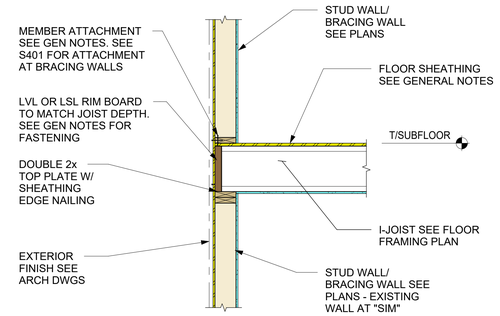
BLDG2511065886



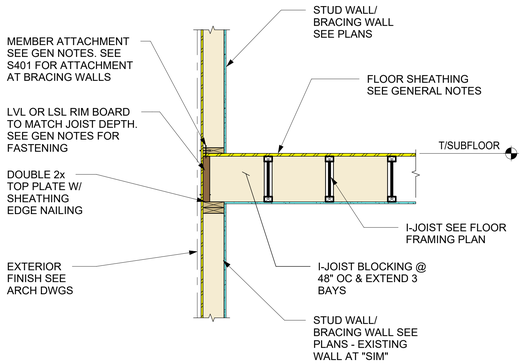
1 1st Level CMU Joist Brg
3/4" = 1'-0"



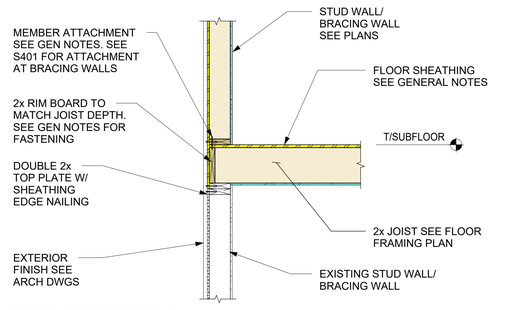
2 SECTION AT EXTERIOR WALL JOIST BEARING
3/4" = 1'-0"



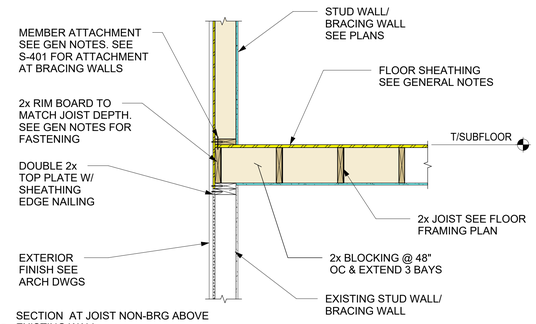
3 2ND LEVEL I-JOIST BRG
3/4" = 1'-0"



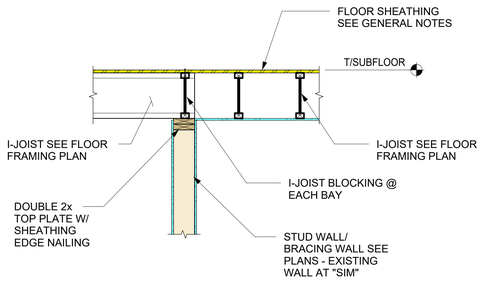
4 2ND LEVEL I-JOIST NON-BRG
3/4" = 1'-0"



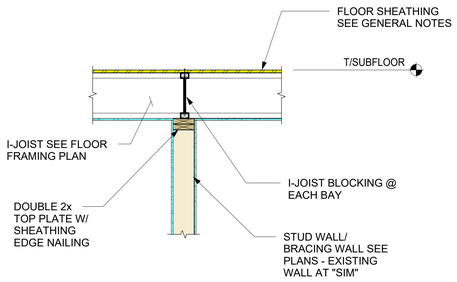
5 SECTION AT JOIST BRG ABOVE EXISTING WALL
3/4" = 1'-0"



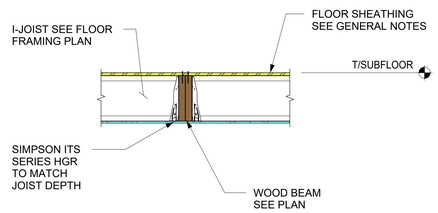
6 SECTION AT JOIST NON-BRG ABOVE EXISTING WALL
3/4" = 1'-0"



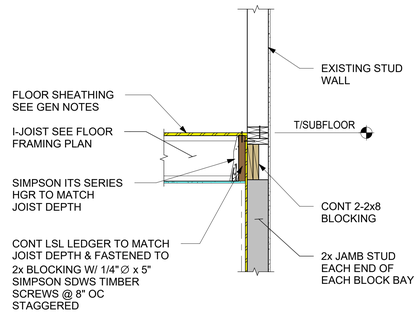
7 2ND LEVEL I-JOIST INTERIOR
3/4" = 1'-0"



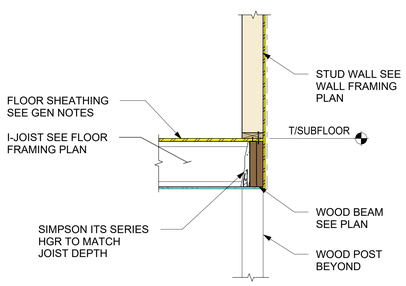
8 2ND LEVEL I-JOIST INTERIOR CONT
3/4" = 1'-0"



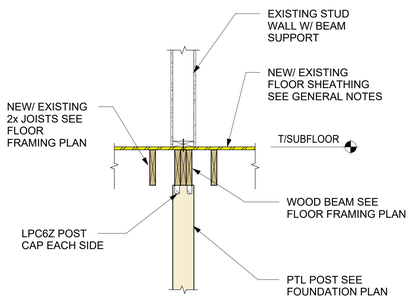
9 SECTION AT INTERIOR FLUSH BEAM
3/4" = 1'-0"



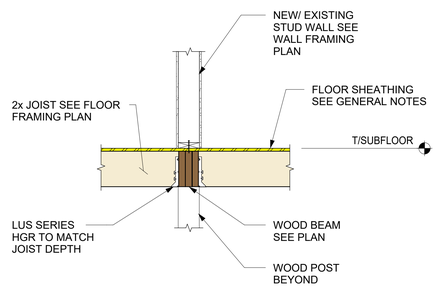
10 SECTION AT JOIST LEDGER
3/4" = 1'-0"



11 SECTION AT JOIST TO BEAM
3/4" = 1'-0"



12 SECTION AT CRAWL SPACE BEAM
3/4" = 1'-0"



13 SECTION AT CRAWL SPACE FLUSH BEAM
3/4" = 1'-0"

Fernz Structural

www.fernz-structural.com

PROJECT: Fleeman Residence Remodel & Addition
245 Forest Avenue NE
Marietta, GA 30060

ARCHITECT: Made Architecture, LLC
Courtney Morrison, NCARB
453 Maple Avenue, NW
Marietta, GA 30064
404.735.2132
cmorrison@madearch.design

OWNERS: Roy and Kate Fleeman
270 Hunt Street NE
Marietta, GA 30060
Roy: 770.274.9559
royfleeman@gmail.com
Kate: katepetri@gmail.com

STRUCTURAL ENGINEER: Fernz Engineering
Michael Fernandez
488 Thomas Road
Cleveland, GA 30528
706.969.5636
mike@fernz-structural.com

GENERAL CONTRACTOR: Clever Home LLC
Karls Mundaray
2179 Sumter Lake Drive
Marietta, GA 30062
470.357.5865
office@cleverhomellc-gc.com

GEORGIA REGISTERED No. PE045304 PROFESSIONAL ENGINEER MICHAEL R. FERNANDEZ

November 14, 2025

Issuances

No.	Description	Date
	Issued for Permit	11/14/25

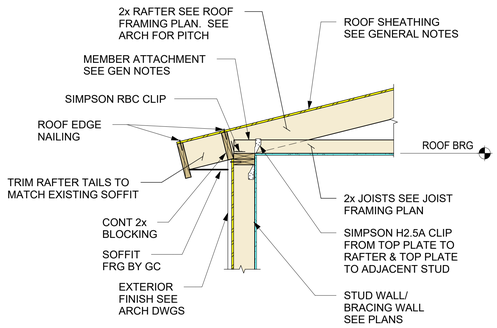
Issued for Construction

FLOOR FRAMING SECTIONS & DETAILS

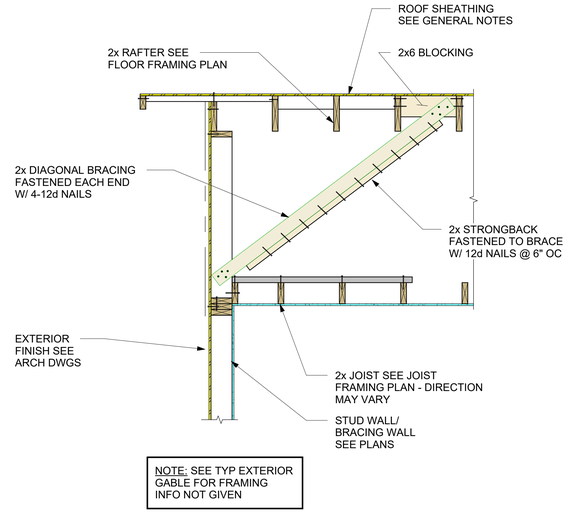
Project number	25-060
Date	10/15/2025
Drawn by	MRF
Checked by	MRF

S701

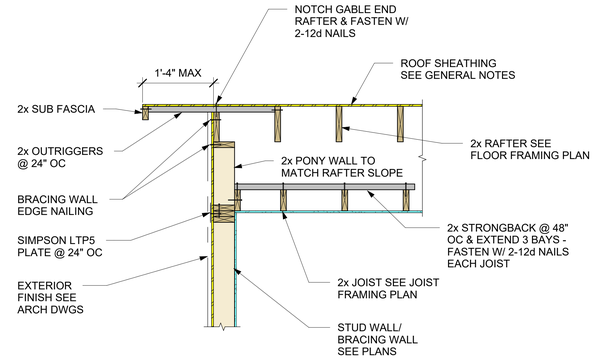
BLDG2511065886



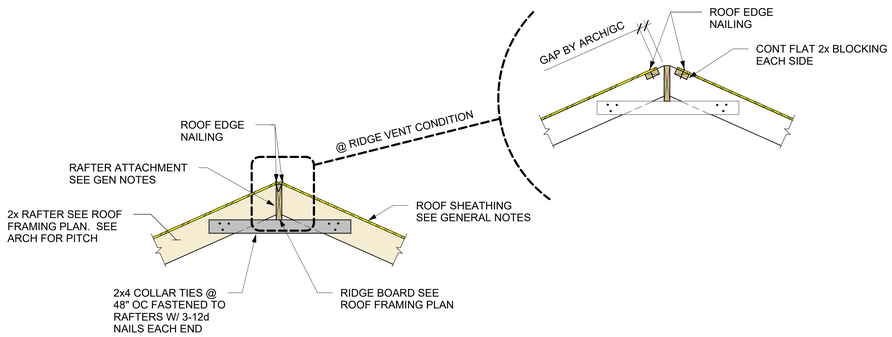
1 SECTION AT RAFTER BEARING
3/4" = 1'-0"



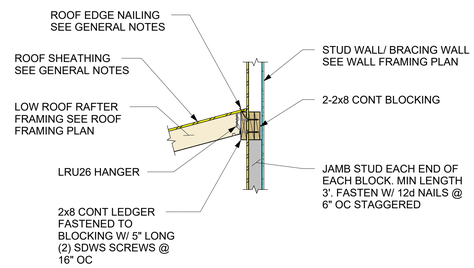
2 SECTION AT GABLE BRACE
3/4" = 1'-0"



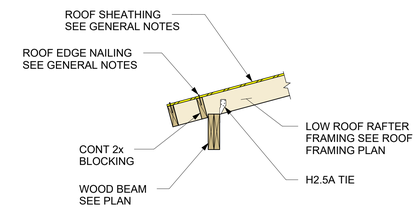
3 SECTION AT GABLE END
3/4" = 1'-0"



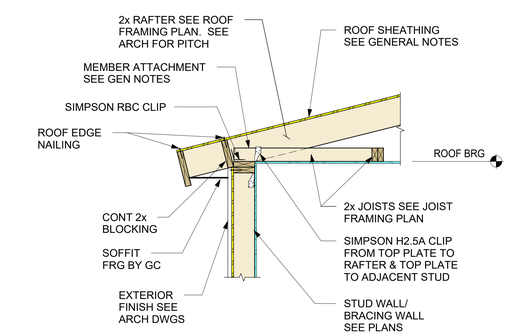
4 SECTION AT RIDGE BOARD
3/4" = 1'-0"



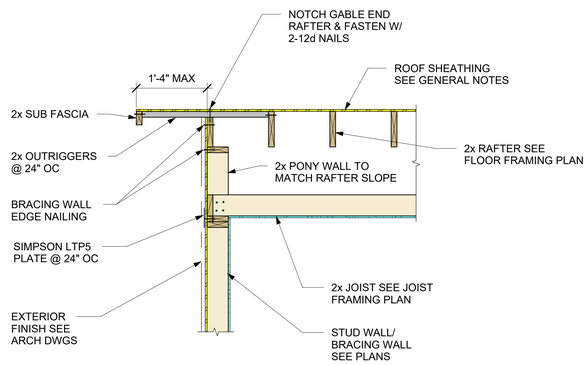
5 SECTION AT LOW ROOF
3/4" = 1'-0"



6 SECTION AT PORCH EXTERIOR
3/4" = 1'-0"



7 SECTION AT RAFTER BEARING ALT JOISTS
3/4" = 1'-0"



8 SECTION AT GABLE END ALT JOIST
3/4" = 1'-0"

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S801